



CITY OF
Lethbridge

Office of the City Clerk

January 9, 2013

RE: NOTICE OF HEARING - SUBDIVISION AND DEVELOPMENT APPEAL BOARD

An appeal has been filed on the approval of the Development Officer to allow the construction of two double garages for the purpose of vehicle storage and a granting of a request for a front and side setback and landscape width waiver at 3835 - 14 Avenue North, Development Permit DEV04801.

When an appeal is filed with the Subdivision and Development Appeal Board (SDAB), all persons who own property within 200 feet or 60 meters of the development are notified of the hearing by way of this letter. In addition, the owner of the property, the applicant of the development permit, the Community Association and the person(s) who filed the appeal will also receive a copy of this letter.

The Subdivision and Development Appeal Board (SDAB) will hold a Public Hearing as follows:

DATE: Thursday, January 24, 2013
TIME: 4:00 p.m.
LOCATION: Council Chambers, Main Floor, City Hall
910 – 4 Avenue South

Persons affected by this development have the right to present a written, verbal and/or visual submission to the Board. When making a presentation, keep in mind that in accordance with the legislation that governs the SDAB, the Board can only consider relevant planning matters when rendering its decision. It is recommended that you limit your presentation to five minutes.

If you wish to submit written material to the Board, it should be delivered to the Secretary of the SDAB, no later than 12:00 noon on the Wednesday prior to the hearing. If you are unable to meet this submission deadline, please bring 12 copies of the materials to the Hearing and it will be distributed at the start of the Hearing. Any written and/or visual material received will be made available to the public.

We will be pleased to answer any questions you may have regarding the appeal and can also provide information or advice on Board procedures and how to make presentations to the Board. Please feel free to contact me at 403-329-7329 if you have any questions.

Yours truly,

David Sarsfield
Board Secretary, Subdivision and Development Appeal Board



CITY OF
Lethbridge

NOTICE OF A SUBDIVISION AND DEVELOPMENT APPEAL BOARD HEARING

DATE: Thursday, January 24, 2013

PLACE: Council Chambers, 1st Floor
City Hall - 910 - 4th Avenue South

TIME: 4:00 p.m.

AGENDA:

1. CALL TO ORDER

PRESENTATIONS:

2.1 4:00 p.m.

SDAB No. 2013-01
APPEAL OF DEVELOPMENT PERMIT NO. DEV04801

Appellants: Richard Kille
Trevor MacBeth

To construct two double garages for the purpose of vehicle storage and a request for a front, side setback and landscape width waiver at 3835 – 14 Avenue North

Land Use District: I-G (General Industrial)




CITY OF
Lethbridge

NOTICE OF APPEAL

Subdivision & Development Appeal Board

In accordance with sections 678 and 686 of the *Municipal Government Act* and The City of Lethbridge Bylaw 4749, an appeal to the Subdivision and Development Board must be filed within the legislated time frame.

Site Information			(Date Received Stamp)  (Office use Only)
Municipal Address of Appeal 3835 14 AVE N.			
Legal Description of Site (must be completed for subdivision appeals) N/A			
Development Application Number or Subdivision Application Number DEV 04801			
Appellant Information			
Name RICK KILLE			
Mailing Address P.O. Box 1046			
City LETHBRIDGE	Province AB	Postal Code T1S 4A2	
Residence # 403-320-9976	Business # 403-634-1183	Email RKille@Platinum.ca	

APPEAL AGAINST (Check One Box Only) for multiple appeals you must submit another Notice of Appeal

Development Permit	Subdivision Permit	Notice of Order
<input checked="" type="checkbox"/> Approval <input type="checkbox"/> Conditions of Approval <input type="checkbox"/> Refusal	<input type="checkbox"/> Approval <input type="checkbox"/> Conditions of Approval <input type="checkbox"/> Refusal	<input type="checkbox"/> Notice of Order


REASONS FOR APPEAL Sections 678 and 686 of the *Municipal Government Act* require that the written Notice of Appeal must contain specific reasons for the appeal.

The grounds for this appeal are as follows:

AS PER ATTACHED LETTER

(Attach a separate page if required)

This Personal information is collected under the authority of the Freedom of Information and protection of Privacy Act, Section 33(c) and the Municipal Government Act, Sections 6788 and 685 Note: **This information will form part of a file available to the public**, if you have any questions regarding the collection of this information, contact the FOIP Coordinator at (403) 329-7383.

Signature of Appellant 		Date 2012-01-21 YYYY MM DD	
FOR OFFICE USE ONLY			
Final Date of Appeal YYYY MM DD 2013 01 02	Appeal Number	Hearing Date YYYY MM DD	Date Appellant Notified YYYY MM DD

RICK KILLE

Re:Development Application DEV04801

Approving this setback waiver and allowing the construction of the two addition garages will only serve to further depreciate property values in the area. Aesthetically these residential type garages detract from the existing buildings which conform more to the type of structures one would expect to see in a industrial park. The fact that structures of this type were built on this property in the first place is surprising to many property owners in the area. These building are probably the result of the city's initial rejection to approve the owner's original building plans. No city services are being provided to these structures.



Richard B. Kille

Kima Properties Inc.



CITY OF Lethbridge

NOTICE OF APPEAL

Subdivision & Development Appeal Board

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Site Information		
Municipal Address of Appeal 3861 14 Ave North		
Legal Description of Site (must be completed for subdivision appeals)		
Development Application Number or Subdivision Application Number DEV04801		
Appellant Information		
Name Trevor MacBeth		
Mailing Address 3861 14 Ave North		
City Lethbridge	Province Alberta	Postal Code T1H-6L4
Residence # 403-329-0528	Business # 403-380-0614	Email trevor.macbeth@snape.com



APPEAL AGAINST (Check One Box Only) for multiple appeals you must submit another Notice of Appeal

Development Permit	Subdivision Permit	Notice of Order
<input checked="" type="checkbox"/> Approval	<input type="checkbox"/> Approval	<input type="checkbox"/> Notice of Order
<input type="checkbox"/> Conditions of Approval	<input type="checkbox"/> Conditions of Approval	
<input type="checkbox"/> Refusal	<input type="checkbox"/> Refusal	

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Signature of Appellant <i>Trevor MacBeth</i>		Date YYYY 12 MM 21 DD 21			
FOR OFFICE USE ONLY					
Final Date of Appeal YYYY MM DD	Appeal Number	Hearing Date YYYY MM DD	Date Appellant Notified YYYY MM DD		

NOTICE OF APPEAL

Development Application Number; DEV04801

Regarding the above development application, I believe approval of this setback waiver will bring undue hardship to my business located immediately to east of the indicated building site. The two new proposed buildings will greatly reduce visibility of my business from the street thus impairing my ability to attract new customers. I also believe that other businesses and property values in the vicinity will be adversely affected by allowing this waiver. The visual elements of these buildings do anything but blend into the surrounding structures. Allowing more to be built will only detract further from existing buildings in the area. I got to question wether anyone even looked at this site before granting this waiver, I think not.



Trevor MacBeth

Snap On Tools

Lethbridge



Address: **3835 14 AVE N**
Legal: 9812845;18;32

District: I-G

Applicant: GROENHEIDE, DICK
Address: 4305 3 AVE S LETHBRIDGE AB T1J 4B3

Phone: (403) 382-0522

Development Proposed To construct 2 double garages for the purpose of vehicle storage and a request for a front, side setback and landscape width waiver.

District I-G GENERAL INDUSTRIAL

Land Use FREIGHT & STORAGE - PERMITTED

Waiver FRONT SETBACK (SHORT)
LANDSCAPE
SIDE SETBACK (1)
SIDE SETBACK (2)

CONDITIONS OF APPROVAL

1. With the exception of condition #5, the development shall be in accordance with the plans submitted November 21, 2012. Any change to these plans requires the approval of the Development Officer.
2. Waiver(s): (a) a 1.17m (3'10") front setback waiver be granted, thus allowing a 6.43m (21'1") front setback.
(b) a 2.77m (9'1") side setback waiver be granted, thus allowing a 1.83m (6'0") west side setback for Unit A, and a 1.83m (6'0") east side setback for Unit B.
(c) a 1.17m (3'10") landscape width waiver be granted, thus allowing a 6.43m (21'1") landscaping area.
3. Off-street Parking: 2 additional spaces shall be provided and maintained for this use thus bringing the total requirement to 9 spaces for the entire development.
4. Signs: prior to the installation of any exterior signs, a sign permit must be approved by the Development Officer.
5. Landscaping: The landscaping shown on the plans submitted November 21, 2012 is not approved as shown. The landscaping must be extended to the north and abut the structures as well it must be extended out to the curb along 14 Avenue North. Wood mulch must be provided for moisture retention for the trees. All landscaping shall be complete by June 30, 2015.
6. Arrangements satisfactory to the Infrastructure Services Department shall be made for driveways, sidewalks, services, service connections, catchbasins, surface run-off, and traffic control signs. All changes will be at the owners/developers expense. Contact Stan Maier at 403-320-4063 for estimate and schedule of driveway construction.
7. A 2m x 2m easement may be required. The developer or the applicant shall contact Infrastructure Services at least 90 days before electrical services are required in order to make arrangements for underground electrical service. Relocation of existing electric facilities will be at the owners/developers expense.
8. Arrangements satisfactory to the Infrastructure Services Department shall be made for the location of garbage containers. Any outdoor garbage container area shall be screened to the satisfaction of the Development Officer. A copy of a typical solid waste container enclosure drawing has been included for reference.

INFORMATIVE:

If this parcel is ever paved in the future you will need to provide storm water management..



CITY OF
Lethbridge

Land Use Bylaw 5700
DEVELOPMENT PERMIT

**PERMIT NO.
DEV04801**

Dec 11, 2012

Valid Date

Dec 31, 2012

Provided this decision is not appealed, development shall commence:

- on or after the valid date, and
- within one year of the valid date.

Development may commence before the valid date only if the applicant has signed the "Voluntary Waiver of Claims" and is in receipt of this signed permit.

**Development.
Authority**

ANGELA OLSEN, DEVELOPMENT OFFICER

APPEALS

The applicant has the right to appeal this decision to the Subdivision and Development Appeal Board. An appeal shall contain a statement of the grounds of appeal and shall be delivered either personally or by Registered Mail so as to reach the Secretary of the Subdivision and Development Appeal Board not later than fourteen (14) days after the Development Permit or Development Decision letter is deemed to have been received. The deemed received date is seven (7) working days from the date of decision.

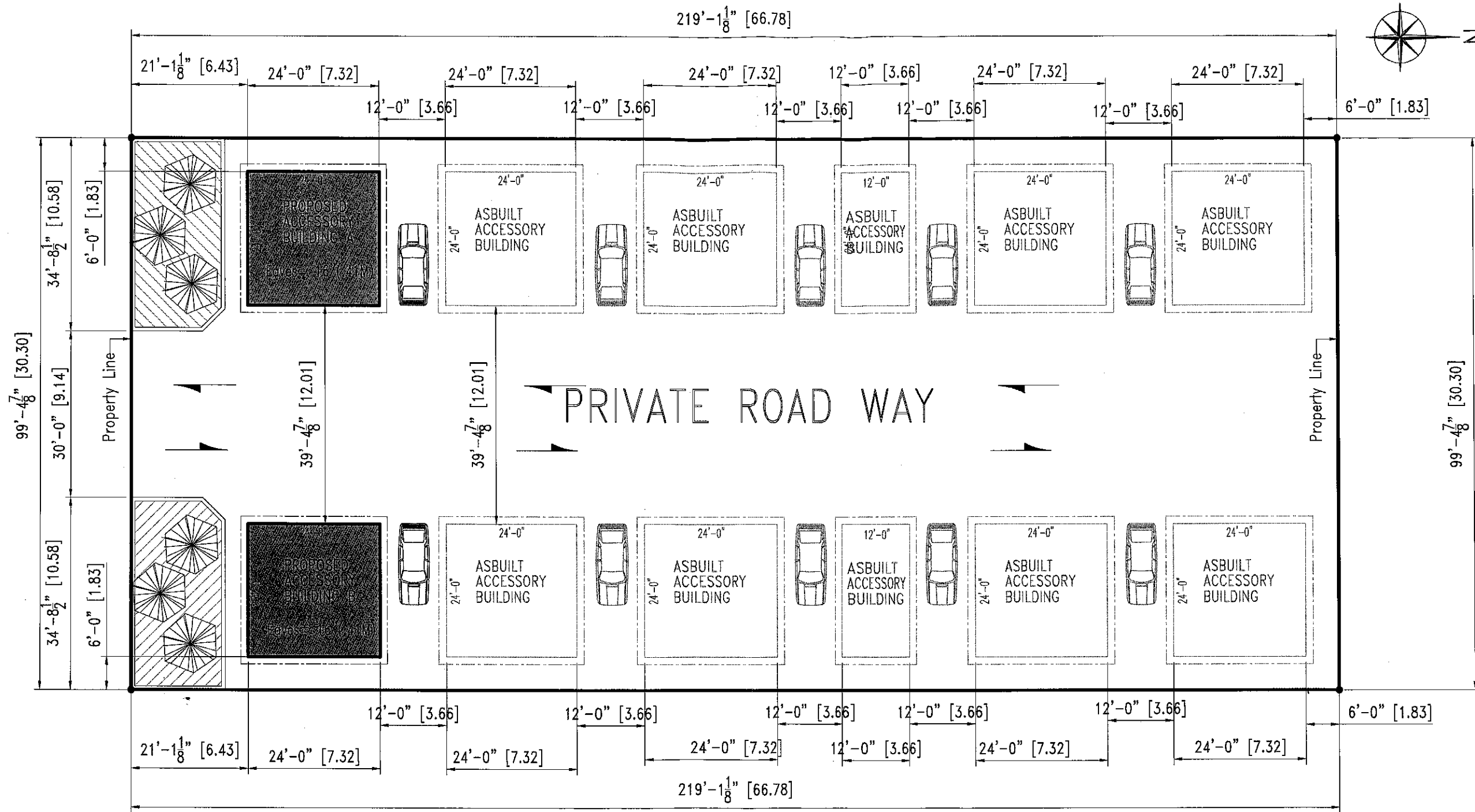
FOIPP

The personal information provided as part of this permit is collected under the Alberta Municipal Government Act and in accordance with section 33(c) of the Freedom of Information and Protection of Privacy Act. The information is required and will be used for issuing permits, Land Use By-law 5700 compliance verification and monitoring, and property assessment purposes. The name of the permit holder and the nature of the permit is available to the public upon request and may be revealed in public appeal processes.

If you have questions about the collection or use of the personal information provided, please contact the Manager of Planning and Development Services at 910 4 Ave S, Lethbridge, AB, T1J 0P6 or phone at (403) 320-3920, or email developmentsservices@lethbridge.ca.

Permit No. DEV04801

14 AVENUE N



Prime Consultant:
MACK
 ARCHITECTURAL
 DESIGN
 CONSULTANTS
 Designers of Fine Custom Homes
 • Custom Home Planning
 • Additions & Renovations
 2808 48 Avenue South
 Lethbridge, Alberta
 T1K-7B3
 Office: 403-329-6106
 richjamesmack@gmail.com
 This Copyright Drawing is the Property of
 MACK ARCHITECTURAL DESIGN CONSULTANTS
 Plans are to be Used for Construction of
 the Address Listed in the Drawings Only.

Symbols:

MARK	SPECIFICATION
	FLOORS
	NOTES
	WALLS
	ROOF
	EXTERIOR

See Page 11
 DETAIL SYMBOL
 Detail Mark
 9 Page
 CROSS SECTION SYMBOL
 View Direction
 A - Mark
 10 Page

General Contractor:

OWNER
 DLG HOLDINGS
 403-381-9056

SYMBOLS LEGEND

- Roof Overhang
- Property Line

Proposed Building Area

LANDSCAPE GROUND COVER
 Rock Landscape Over
 Heavy Duty Landscape Cloth
 1,164 FT² (108M²)

TREE LIST

	QUANTITY
Colorado Blue Spruce Supply Min. 2M Height	6

PLAN SHOWING PROPOSED IMPROVEMENTS TO PROPERTY

SCALE: 1"=20'-0"

UNIT	USAGE	EAVES	COVERAGE
A	Cold Storage	16" (.41M)	576 FT ² (53.51M ²)
A	Cold Storage	16" (.41M)	576 FT ² (53.51M ²)

CITY OF Lethbridge
APPROVED AS PER
LAND USE BYLAW 5700
DEC 11 2012
 PERMIT #: **DEVO4801**
 SIGNATURE: *[Signature]*

RECEIVED
NOV 21 2012
 DEVELOPMENT SERVICES
 CITY OF LETHBRIDGE

PROPERTY DESCRIPTION

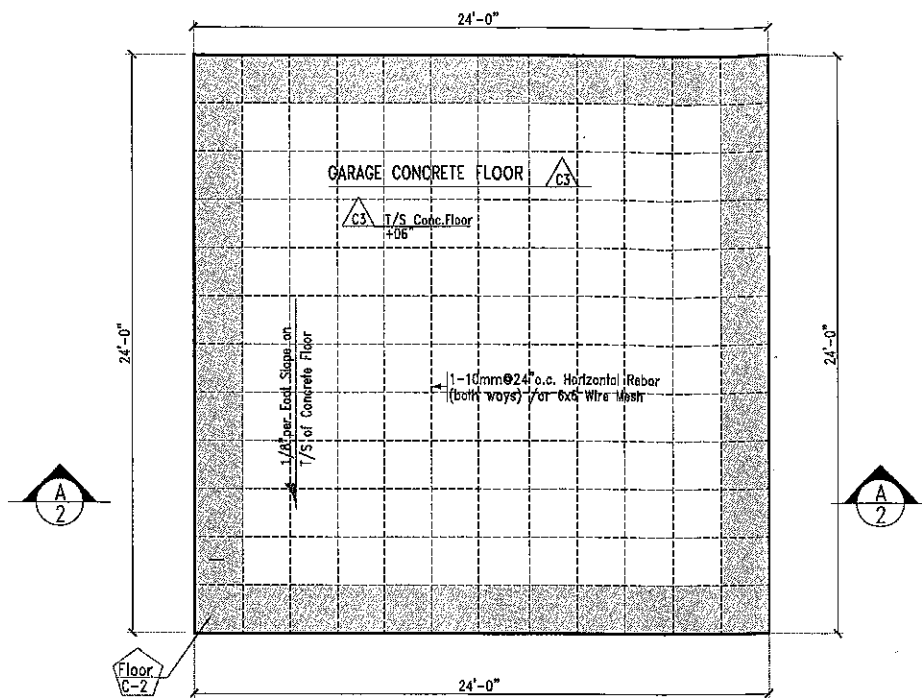
Lot: 32
 Block: 18
 Plan: 981 2845
 Address: 3835 14 AVE.N.
 Municipality: LETHBRIDGE, AB.

LAND USE: GENERAL INDUSTRIAL I-G
 LOT AREA: 21,779 FT² (2,033 M²)

PROPOSED IMPROVEMENTS

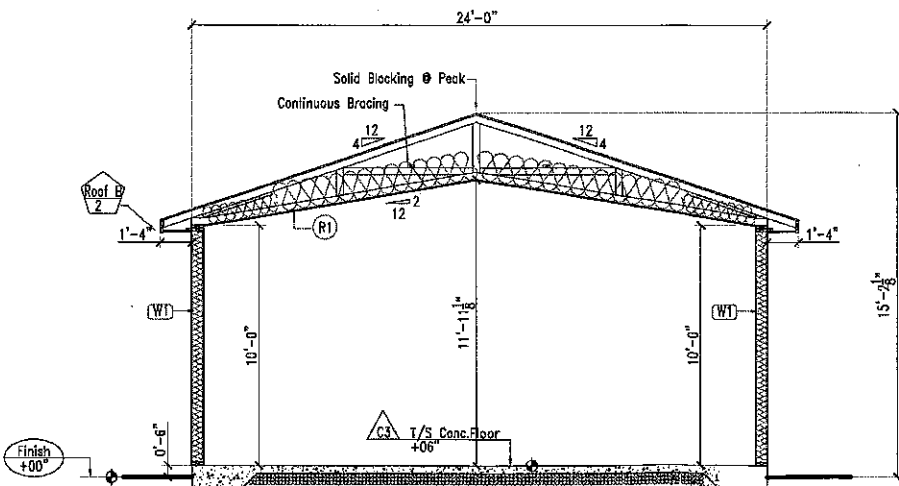
ASBUILT BUILDING(S) COVERAGE: 5,184 FT² (481.61M²)
 PROPOSED BUILDING(S) COVERAGE: 1,152 FT² (107 M²)
TOTAL COVERAGE 6,336 FT² (588 M²)
 PERCENTAGE OF BUILDING(S) COVERAGE: 29%
 PROPOSED LANDSCAPE AREA: 1,670 FT²
 PERCENTAGE PROPOSED LANDSCAPE AREA: 5.3%
 OFF STREET PARKING: 10 Standard Parking Stalls

Client:
 DLG HOLDINGS
 -
 Scale:
 AS NOTED
 Date:
 NOV.12, 2012
 Dwg.No.
 0-73-12-G
 Design By: RM
 Prelim By: RM
 Finish By: RM
 Check By: RJM
 Sheet Title:
SITE PLAN
 Sheet No.
1



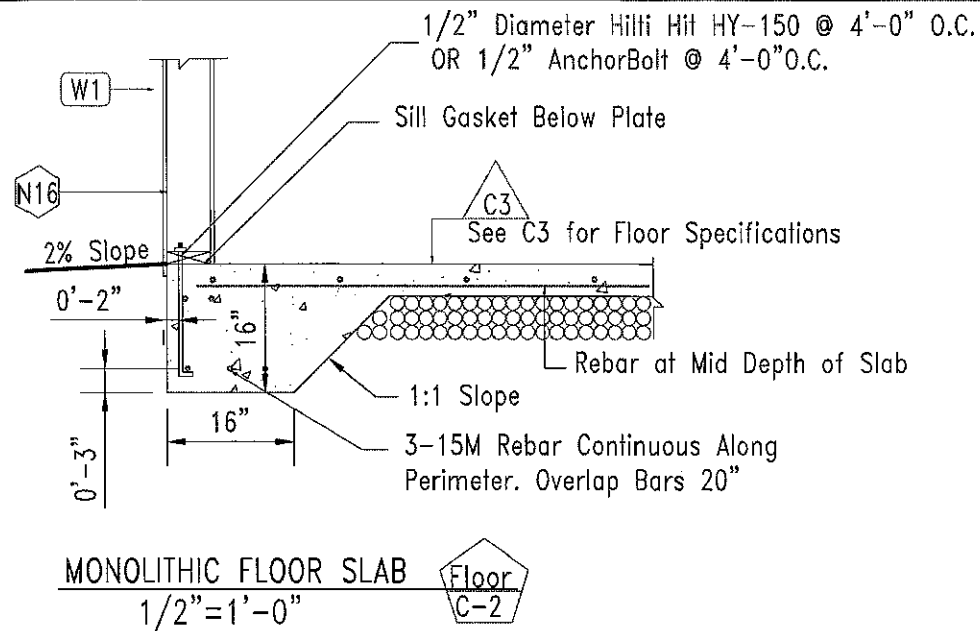
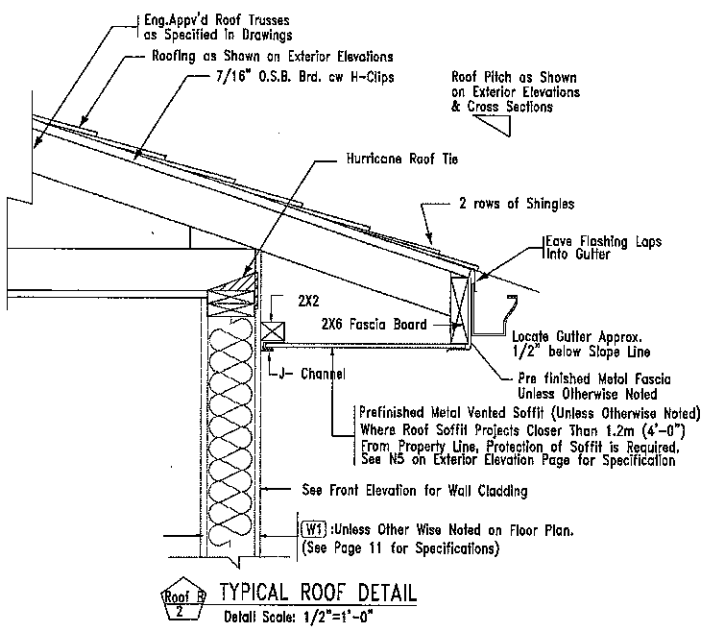
ACCESSORY BUILDING FOUNDATION PLAN

1/8"=1'-0", NOV.12, 2012
3835 14 AVE.N.



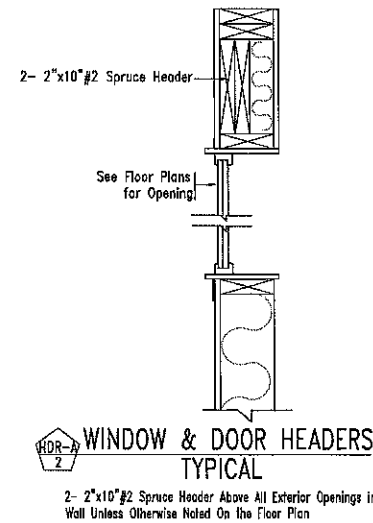
CROSS SECTION
1/8"=1'-0", NOV.12, 2012
3835 14 AVE.N.

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DEVELOPMENT SERVICES
CITY OF LETHBRIDGE



NOTES

- BUILDERS & TRADES**
- Verify Plan Dimensions Prior to Truss Design and Construction
 - Report Omissions or Errors to Mack Design Consultants to Allow Construction to Proceed with Corrected Revised Prints.
- GENERAL BUILDING NOTES**
- All Exterior Walls to be 2"x6" K.D. Spruce @ 16" o.c. (Unless Otherwise Specified).
 - All Exterior Wall Outlets to be Wrapped in Poly
 - All Dimensions Must be Read, Not Scaled From Drawings
 - All Dimensions are to Rough Frame Only
 - All Trusses Must be Engineered, Approved and Verified.
 - All Construction is to be of First Quality and is to be Done in Accordance with the National Building Code of Canada, Provincial, & Local Building Regulations



SPECIFICATIONS

ROOFS				
MARK	DESCRIPTION	ROOF ASSEMBLY	NOTES	FIRE RESISTANCE RATING
(R1)	Engineered Roof Trusses	Roofing as Specified in Architectural Drawings Roof Felt Underlay as Required 7/16" OSB Brd. cw H-Clips Eng. App'd Roof Trusses Over @ 24" o.c.	• See Engineer Roof Truss Drawings for Roof Depth, Spacing & Specifications	NA

WOOD WALLS					
MARK	DESCRIPTION	WALL ASSEMBLY	WALL HEIGHT	FIRE RESISTANCE RATING	SOUND RESISTANCE RATING CLASS
(W1)	EXTERIOR WALL - TYP. • Exterior 2x6 Wall • Above Grade	Exterior Finish Per Elevations 2 Layers Building Paper 3/8" O.S.B. board 2"x6" @ 16" o.c. #2 K.D. Spruce R-20 Insulation 6 Mil Poly 5/8" Type X FireGuard	• Height as Specified in Cross Sections	NA	NA

CONCRETE FLOORS					
MARK	DESCRIPTION	FLOOR ASSEMBLY	REINFORCING	CONCRETE	NOTES
(C3)	Garage Concrete Floor	4" Concrete Floor 3/4" Dry Crushed Gravel 6" Deep	1-10M @ 24" o.c. Both Ways	32 MPA Type 50 Sulphate Resistant 3-1/4" Slump 5 to 6% Air Entrainment	Moisten, but Do Not Saturate Compacted Gravel Prior to Pouring Concrete

Prime Consultant:

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T1K-7B3

Office: 403-329-6106
richjamesmack@gmail.com

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Symbols:

MARK	SPECIFICATION
△	FLOORS
○	NOTES
□	WALLS
○	ROOF
□	EXTERIOR

See Page 11

DETAIL SYMBOL
Detail Mark: 9 / 9 Pages

CROSS SECTION SYMBOL
View Direction: A-2 / 10 Pages

General Contractor:

OWNER
DLG HOLDINGS
403-381-9056

Client:
DLG HOLDINGS

Scale:
AS NOTED

Date:
NOV.12, 2012

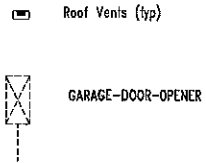
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0-73-12-G

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Prelim By: RM
Finish By: RM
Check By: RJM

Sheet Title:
FOUNDATION & SPECIFICATIONS

Sheet No.
2

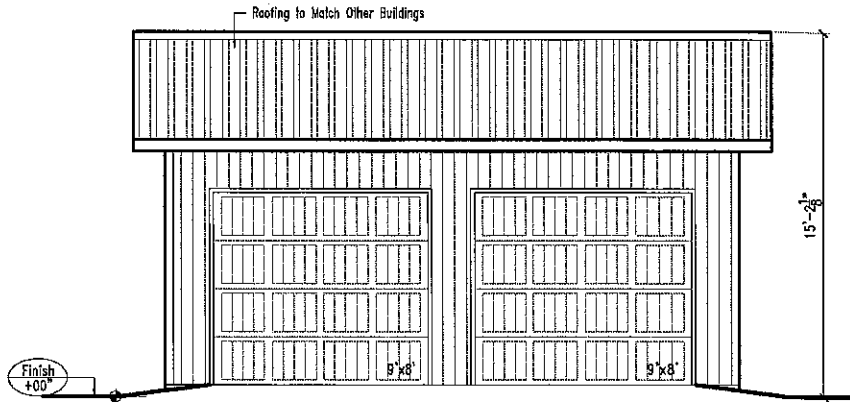
SYMBOLS



GENERAL NOTES

See Engineered Truss Plans For Roof Design

ELECTRICAL SYMBOLS	
	Outlet Duplex 110
	Outlet Duplex 110 Weather Proof - Exterior
	Outlet Duplex 110 Ceiling or Soffit Mount
	Surface Mounted Ceiling Incandescent Light Fixture
	Recessed Ceiling Incandescent Light Fixture
	1'x4' Surface Mounted Fluorescent Light Fixture
	Switch
	3-Way Switch
ELECTRICAL NOTES	
<ul style="list-style-type: none"> All Exterior Wall Outlets to be Wrapped in Poly Confirm Outlet Locations with Owner Prior to Installation Confirm All Accessory Wiring That May Need to be Installed (Speakers, Satellite...) Confirm Electrical for Additional Equipment (Air Conditioning, Vacuum...) Confirm Fixture Specs with Builder & Owner Confirm Exterior Yard Lighting Wire for Door Bells at Exterior Doors 	
<p>WIRE FOR PRINCIPAL EXHAUST (Code Ref. ABC 9.32.5.3)</p> <ul style="list-style-type: none"> Provide Dedicated Principal Exhaust fan on Central Control Switch. Control switch to include interlock between Principal Exhaust fan(s) & Ventilation supply Air Fan. 	



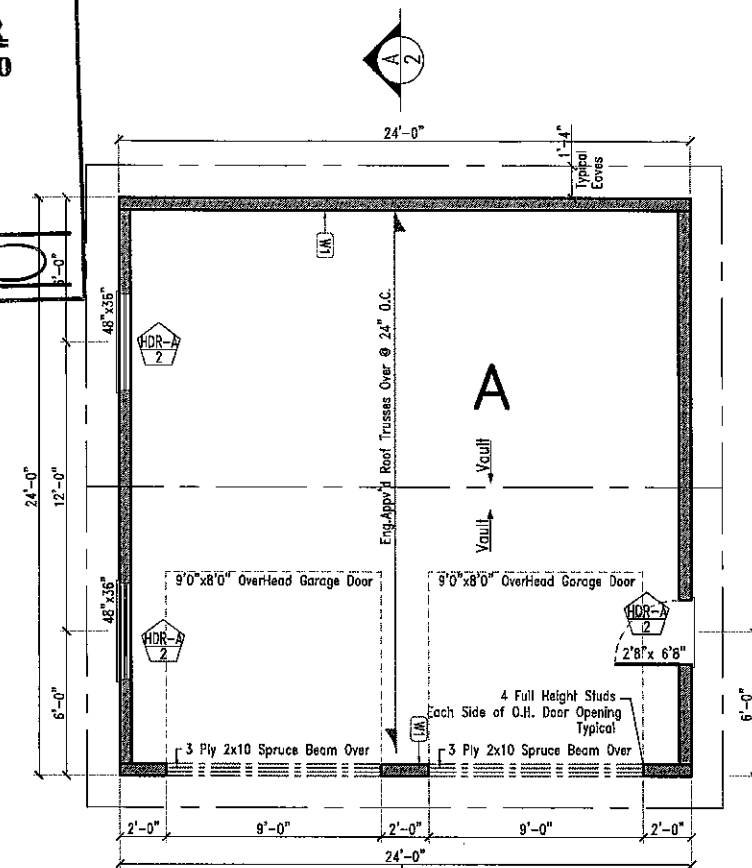
**ACCESSORY BUILDING A
FRONT ELEVATION FACING PRIVATE ROAD**
1/8"=1'0", NOV.12, 2012
3835 14 AVE.N.

CITY OF *Lethbridge*
**APPROVED AS PER
LAND USE BYLAW 5700**

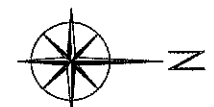
DEC 11 2012

PERMIT #: DEV04801

SIGNATURE: *Angela Ous*



**ACCESSORY BUILDING A
FLOOR PLAN** 576 ft2 (53.5m2)
1/8"=1'0", NOV.12, 2012
3835 14 AVE.N.



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the Address Listed in the Drawings Only.

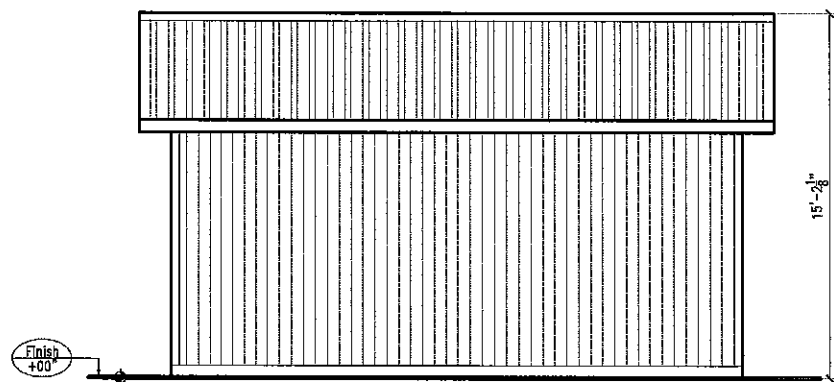
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	EXTERIOR

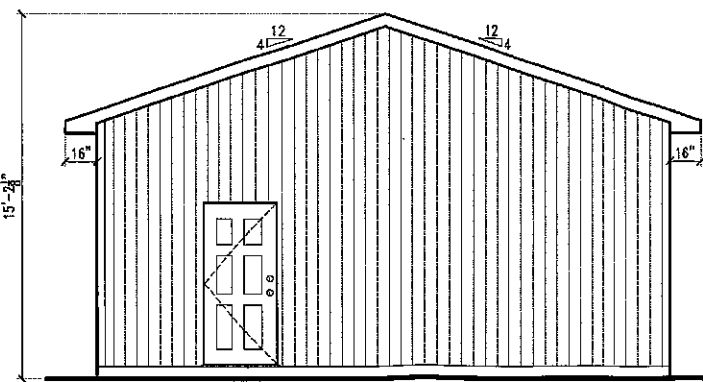
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DETAIL SYMBOL
9 / Page
CROSS SECTION SYMBOL
View Direction
A / 10 / Page

General Contractor:

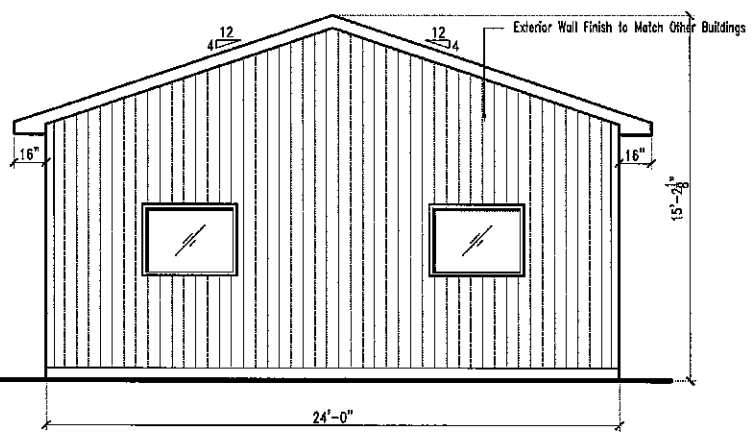
OWNER
DLG HOLDINGS
403-381-9056



**ACCESSORY BUILDING A
REAR ELEVATION**
1/8"=1'0", NOV.12, 2012
3835 14 AVE.N.



**ACCESSORY BUILDING A
RIGHT SIDE ELEVATION**
1/8"=1'0", NOV.12, 2012
3835 14 AVE.N.

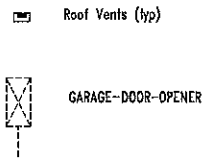


**ACCESSORY BUILDING A
LEFT SIDE ELEVATION**
1/8"=1'0", NOV.12, 2012
3835 14 AVE.N.

RECEIVED
NOV 21 2012
DEVELOPMENT SERVICES
CITY OF LETHBRIDGE

Client:
DLG HOLDINGS
Scale:
AS NOTED
Date:
NOV.12, 2012
Dwg.No.
0-73-12-G
Design By: RM
Prelim By: RM
Finish By: RM
Check By: RJM
Sheet Title:
ACCESSORY BUILDING A
Sheet No.
3

SYMBOLS



GENERAL NOTES

See Engineered Truss Plans For Roof Design

RECEIVED

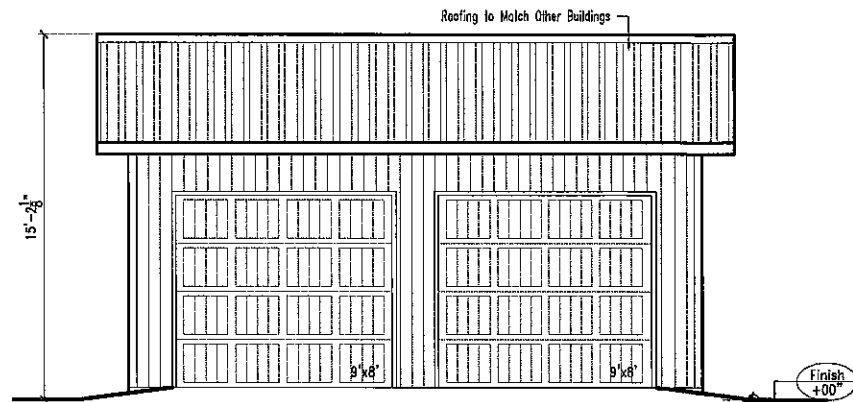
NOV 21 2012

DEVELOPMENT SERVICES
CITY OF LETHBRIDGE

CITY OF *Lethbridge*
**APPROVED AS PER
LAND USE BYLAW 5700**

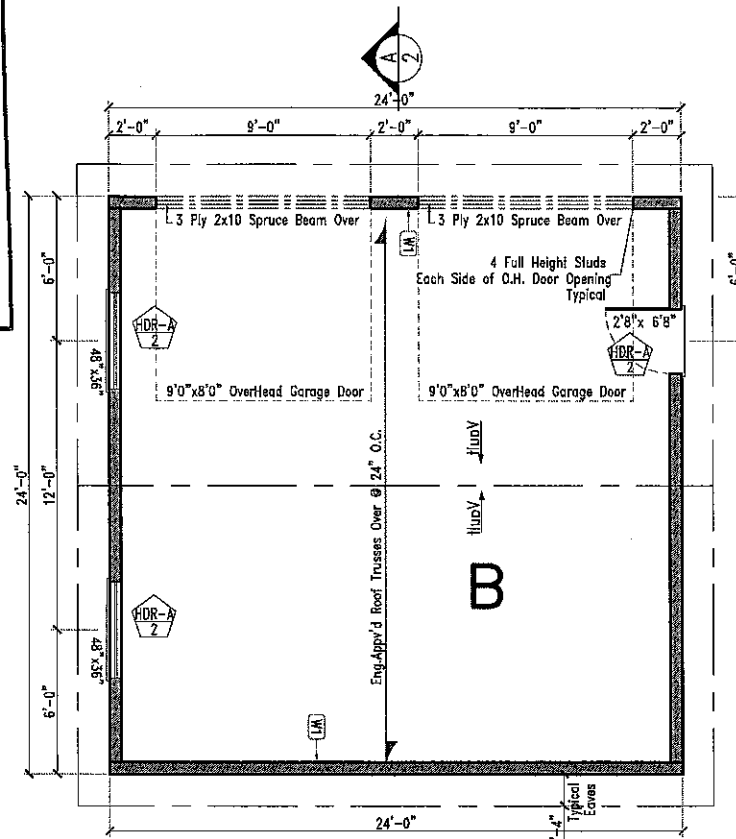
DEC 11 2012

PERMIT #: DEV04201
SIGNATURE: Angela Ous



ACCESSORY BUILDING B
FRONT ELEVATION FACING PRIVATE ROAD

1/8"=1'0", NOV.12, 2012
3835 14 AVE.N.



ACCESSORY BUILDING B
FLOOR PLAN

576 ft² (53.5m²)

1/8"=1'0", NOV.12, 2012
3835 14 AVE.N.



ELECTRICAL SYMBOLS	
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	3-Way Switch
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Prime Consultant:
MACK
ARCHITECTURAL
DESIGN
CONSULTANTS
Designers of Fine Custom Homes
• Custom Home Planning
• Additions & Renovations
2808 48 Avenue South
Lethbridge, Alberta
T1K-7B3
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Symbols:

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	FLOORS
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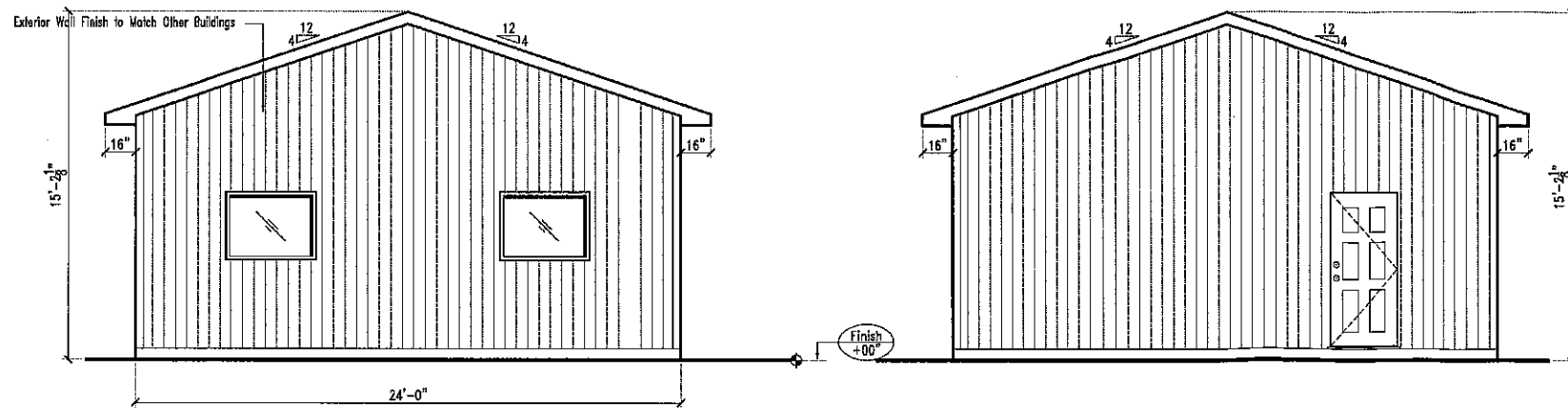
See Page 11
DETAIL SYMBOL
Detail - Detail Mark
9 - Page
CROSS SECTION SYMBOL
View Direction
A - Mark
10 - Page

General Contractor:

OWNER
DLG HOLDINGS
403-381-9056

Client:
DLG HOLDINGS
Scale:
AS NOTED
Date:
NOV.12, 2012
Dwg.No.
0-73-12-G
Design By: RM
Prelim By: RM
Finish By: RM
Check By: RJM

Sheet Title:
ACCESSORY BUILDING B
Sheet No.

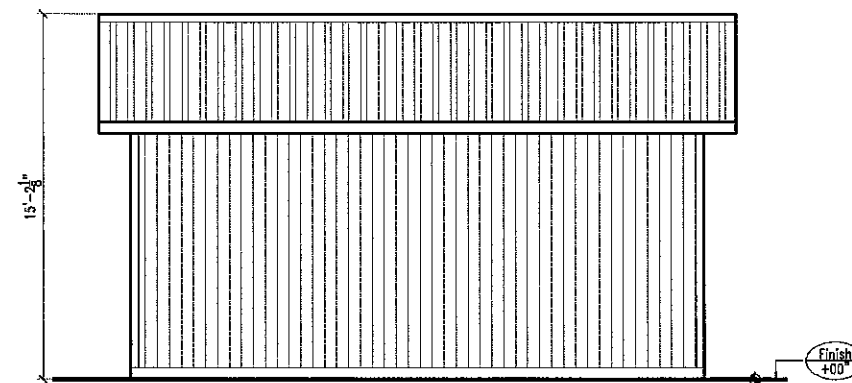


ACCESSORY BUILDING B
RIGHT SIDE ELEVATION

1/8"=1'0", NOV.12, 2012
3835 14 AVE.N.

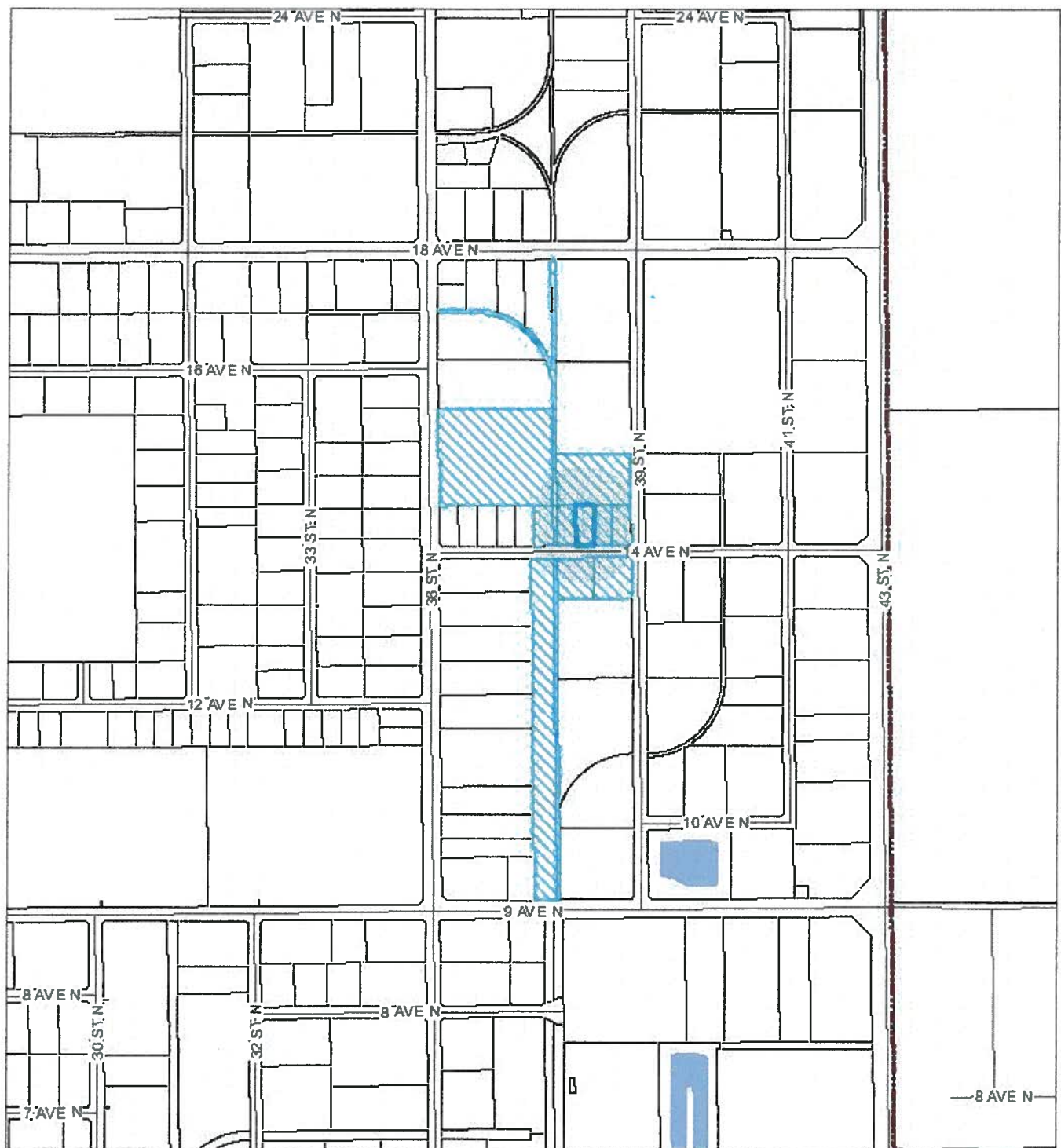
ACCESSORY BUILDING B
LEFT SIDE ELEVATION

1/8"=1'0", NOV.12, 2012
3835 14 AVE.N.



ACCESSORY BUILDING B
REAR ELEVATION

1/8"=1'0", NOV.12, 2012
3835 14 AVE.N.



CITY OF
Lethbridge

SDAB 2013-01 3835 14 Avenue North

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