



CITY OF *Lethbridge*

Office of the City Clerk

September 7, 2021

RE: NOTICE OF HEARING - SUBDIVISION AND DEVELOPMENT APPEAL BOARD

An appeal has been filed on the approval of a Development Permit by the Municipal Planning Commission to build a 3 storey supportive housing facility for 18 residents located at 108 8 Street South.

When an appeal is filed with the Subdivision and Development Appeal Board (SDAB), all persons who own property within 200 feet or 60 meters of the development are notified of the hearing by way of this letter. In addition, the owner of the property will also receive a copy of this letter.

The Subdivision and Development Appeal Board (SDAB) will hold a Public Hearing as follows:

DATE:	Thursday, September 16, 2021
TIME:	5:00 p.m.
LOCATION:	Council Chambers, Main Floor, City Hall 910 – 4 Avenue South

Persons affected by this development have the right to present a written, verbal and/or visual submission to the Board. When making a presentation, keep in mind that in accordance with the legislation that governs the SDAB, the Board can only consider relevant planning matters when rendering its decision. It is recommended that you limit your presentation to five minutes.

If you wish to submit written material to the Board, it should be delivered to the Secretary of the SDAB via email at david.sarsfield@lethbridge.ca, no later than 12:00 noon on the Wednesday prior to the hearing. If you are unable to meet this submission deadline, please bring 12 copies of the materials to the Hearing and it will be distributed at the start of the Hearing. Any written and/or visual material received will be made available to the public.

The City is following the recommendations from the Province of Alberta and the City of Lethbridge with regards to social distancing.

We will be pleased to answer any questions you may have regarding the appeal and can also provide information or advice on Board procedures and how to make presentations to the Board. Please feel free to contact me at 403 329 7329 if you have any questions.

Yours truly,

David Sarsfield
Board Secretary,
Subdivision and Development Appeal Board



CITY OF
Lethbridge

NOTICE OF A SUBDIVISION AND DEVELOPMENT APPEAL BOARD HEARING

DATE: Thursday, Sept 16, 2021

PLACE: Council Chambers, 1st Floor
City Hall - 910 - 4th Avenue South

TIME: 5:00 p.m.

AGENDA:

1. CALL TO ORDER

PRESENTATIONS:

- 2.1 5:00 p.m.
SDAB No. 2021-05
APPEAL OF DEVELOPMENT PERMIT 13215

Appellant: Alvin Reinhard Fritz Architect Inc.

Address: 108 8 Street South

To construct a 3 storey supportive housing facility for 18 residents

Land Use District: C-D



CITY OF
Lethbridge

NOTICE OF APPEAL
Subdivision & Development Appeal Board

In accordance with sections 678 and 686 of the *Municipal Government Act* and The City of Lethbridge Bylaw 4749, an appeal to the Subdivision and Development Board must be filed within the legislated time frame.

Site Information		(Date Received Stamp)
Municipal Address of Appeal 108 - 8 Street South		
Legal Description of Site (must be completed for subdivision appeals) 4353S; 8; 19-22		
Development Application Number or Subdivision Application Number DEV13215		
Appellant Information		
Name Alvin Reinhard Fritz Architect Inc.		
Mailing Address 10-90001 Range Road 212		(Office use Only)
City Lethbridge County	Province AB	Postal Code T1J 5N9
Residence #	Business # (403) 320-8100	Email bhanzel@alvinfritzarchitect.com

APPEAL AGAINST (Check One Box Only) for multiple appeals you must submit another Notice of Appeal

Development Permit	Subdivision Permit	Notice of Order
<input checked="" type="checkbox"/> Approval	<input type="checkbox"/> Approval	<input type="checkbox"/> Notice of Order
<input type="checkbox"/> Conditions of Approval	<input type="checkbox"/> Conditions of Approval	
<input type="checkbox"/> Refusal	<input type="checkbox"/> Refusal	

REASONS FOR APPEAL Sections 678 and 686 of the *Municipal Government Act* require that the written Notice of Appeal must contain specific reasons for the appeal.

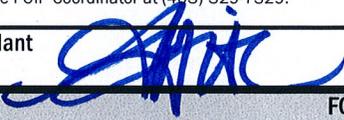
The grounds for this appeal are as follows:
We appeal under DEV13215 - Conditions of Approval

Our grounds are:

1. The request for 24 beds was based on the need identified in the Municipal Housing Strategy and Municipal Housing Needs study.
2. The reduction to 18 from 24 does not allow for the full use of the square footage in an economically viable manner.

(Attach a separate page if required)

This Personal information is collected under the authority of the Freedom of Information and protection of Privacy Act, Section 33(c) and the Municipal Government Act, Sections 6788 and 685 Note: **This information will form part of a file available to the public**, If you have any questions regarding the collection of this information, contact the FOIP Coordinator at (403) 329-7329.

Signature of Appellant 		Date 2021 08 31	
FOR OFFICE USE ONLY			
Final Date of Appeal YYYY MM DD	Appeal Number	Hearing Date YYYY MM DD	Date Appellant Notified YYYY MM DD

Address: **108 8 ST S**
Legal: 4353S;8;19-22

District: C-D

Applicant: ALVIN REINHARD FRITZ ARCHITECT INC
Address: 10-90001 RANGE ROAD 212 LETHBRIDGE COUNTY AB T1J 5N9

Phone: 403-320-8100

Development Proposed New Construction of a three storey building that will house retail/commercial on the first floor and Supportive Housing on the second and third floors - 4 units, holding 24 beds for supportive housing. A request for a parcel width and parcel area waiver.

District C-D DOWNTOWN COMMERCIAL

Land Use OFFICE - PERMITTED
RETAIL STORE - PERMITTED
SUPPORTIVE HOUSING - DISCRETIONARY

CONDITIONS OF APPROVAL

Municipal Planning Commission Decision August 23, 2021:

That Development Application DEV13215 be APPROVED with the following conditions:

1. Land Use:

"Supportive Housing" which is a discretionary use in the C-D district and is limited to housing a maximum of 18 persons at any one time. "Retail Store" and "Office" which are permitted uses in the C-D district.

2. Compliance with plans:

With the exception of the additional 8th parking stall that is shown on the site plan DD1.1, which is not approved and must be retained as a barrier free access aisle, the development shall be in accordance with the plans submitted August 4, 2021. Any change to these plans requires the approval of the Development Officer.

3. Waivers:

- (i) A 7.56m (24'10") parcel width waiver be granted, thereby allowing a 15.24m (50'0") parcel width.
- (ii) A 163m² (1754.5 sq ft) parcel area waiver be granted, thereby allowing a 697m² (7502 sq ft) parcel area.
- (iii) A waiver to allow one additional small car space for a total of two small car spaces.

4. Parking:

Seven (7) off street parking spaces shall be provided and maintained for these uses.

5. Signs:

Prior to the installation of any exterior signs, a sign permit must be approved by the Development Officer.

6. Landscaping:

The landscaping as shown on drawing DD1.1, submitted August 4, 2021 is approved and shall be installed by June 30, 2023 and maintained thereafter. All landscaped areas shall be irrigated.

7. Neighbourhood Communication Plan:

The Neighbourhood Communication Plan as submitted must be adhered to by the owner/operator of the supportive housing facility.

8. Encroachment Agreement:

That an encroachment agreement be entered into with the City of Lethbridge prior to the installation of the canopies and renewed annually and maintained thereafter.

Decision Date

Aug 24, 2021

Valid Date

Aug 24, 2021

Development Commencement

Provided this decision is not appealed, development shall commence:

- on or after the valid date, and
- within one year of the valid date.

Development may commence before the valid date only if the applicant has signed the "Voluntary Waiver of Claims" and is in receipt of this signed permit.

Development Authority


MAUREEN GAEHRING, SECRETARY TO MPC

STATUTORY PLANS

The SSRP and applicable municipal statutory plans were considered in rendering this decision.

APPEALS

The applicant has the right to appeal this decision to the Subdivision and Development Appeal Board. An appeal shall contain a statement of the grounds of appeal and shall be delivered either personally or by Registered Mail so as to reach the Secretary of the Subdivision and Development Appeal Board not later than twenty-one (21) days after the decision date indicated on the Development Permit or 'Development Permit Application - Refused' letter.

FOIP

The personal information provided as part of this permit is collected under the Alberta Municipal Government Act and in accordance with section 33(c) of the Freedom of Information and Protection of Privacy Act. The information is required and will be used for issuing permits, Land Use By-law 6300 compliance verification and monitoring, and property assessment purposes. The name of the permit holder and the nature of the permit is available to the public upon request and may be revealed in public appeal processes.

If you have questions about the collection or use of the personal information provided, please contact Information Management at 910 4 Ave S Lethbridge, AB, T1J 0P6 or phone at (403) 329-7329, or email planninganddesign@lethbridge.ca.

Permit No. DEV13215

Development Permit Application

RECEIVED

By Janine Small at 4:06 pm, Aug 03, 2021

RECEIVED ON:
Date: _____
CITY OF Lethbridge
PLANNING & DESIGN

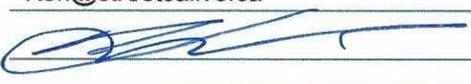
Multi-Family, Commercial, Industrial, and Public Use

All of the following information is necessary to facilitate a thorough and timely evaluation and decision of your application. All materials submitted must be clear, legible and precise. Only applications that are complete will be accepted. **PLEASE NOTE: this application is ONLY for a development permit. If a building permit is also required, you must apply for it separately.**

Project Address
108 - 8 Street South, 712 1 Avenue South

Access Code

Applicant
Name Alvin Reinhard Fritz Architect Inc.
Address 10-90001 Range Road 212
City Lethbridge Postal Code T1J 5N9
Phone (403) 320-8100
E-mail (403) 320-8100
Signature 

Property Owner
Name Streets Alive Family Support Association
Address 323 - 4 Street South
City Lethbridge Postal Code T1J 1Z9
Phone (403) 320-1159 B/L # _____
E-mail Ken@streetsalive.ca
Signature 

Providing an email means you consent to receiving documents or communications related to this application, including but not limited to development permit decisions, acknowledgments confirming an application is complete, any notices identifying any outstanding documents and information, by email.

As the applicant I affirm:

- I am the registered owner of the above noted property
- I have entered into a binding agreement to purchase the above noted property with the registered owner(s)
- I have permission of the registered owner(s) of the above noted property to make the attached application for a Development Permit

Description of Work: (Check all applicable)

- New Commercial, Industrial, or Public Use
- New Multi-Residential Building
- Site & Civil Amendments
- Addition to Existing
- Exterior Alteration
- Landscaping
- Change of Use
- WECS
- Solar Energy System

Detailed Description of Work:

NEW CONSTRUCTION OF 1 STOREY RETAIL/ COMMERCIAL AT GRADE WITH 2 STOREY SUPPORTIVE HOUSING ABOVE.

Any personal information collected on this form is collected under the Municipal Government Act and in accordance with the Freedom of Information and Protection of Privacy Act. The information is required and will be used for issuing permits and planning & development purposes. Please Note that such information may be made public. If you have any questions about the collection, use, or disclosure of the personal information provided, please contact Information Management at 910 4 Ave S, Lethbridge, AB, T1J 0P6 or by phone at 403-329-7329

Development Permit Application

Multi-Family, Commercial, Industrial, and Public Use Developments

All Buildings, Alterations, and/or Additions to Existing Buildings

Occupant / Use C/D/E # of off-street parking stalls 7+1 Total Site Area (M²) 697 SM

Total Gross Floor Area (m²) including all floors and mezzanine for each separate use

Use 1 C - 1,188.93 SM Use 2 D/E - 157.08 SM Use 3 _____ Use 4 _____ Use 5 _____

Total Net Floor Area (m²) for C-D (Downtown Commercial), DT-1 (Downtown 1), and DT-2 (Downtown 2)

Use 1 C - 741.78 SM Use 2 D/E - 141.43 SM Use 3 _____ Use 4 _____ Use 5 _____

Alterations / Additions to Commercial / Industrial / Public Buildings

Existing Floor Area (m²) _____ # of off-street parking stalls _____ Proposed New Floor Area (m²) _____

Multi-Unit Residential Development

of studio / bachelor units _____ # of 1 bedroom units _____ # of 2 bedroom units _____
 # of ≥3 bedroom units 4 UNITS Total # of dwelling units proposed 4 UNITS # of off-street parking stalls 7+1

Change of Use within a specific building

Previous tenant / occupant _____

Total area of space occupied by this use (m²) _____ Number of off-street parking stalls provided _____

Will you be sharing this space with another tenant _____ Adjacent tenant(s) _____

Will you be doing any construction or modification of the space (e.g. adding a mezzanine, second story, adding or removing walls, washrooms, etc)?
 If so, explain (other permits may be required) _____

Will there be any combustible, flammable or explosive materials stored, used or produced at this business? _____

Will the business activities or uses occurring at this location produce any dust, liquids or gases? For example, manufacturing, furniture refinishing, vehicle repairs, welding, cooking or food preparation? _____

Office Use Only

Permit Required Yes No

Overlay _____

Development Fees to be charged

Zoning _____

Development Permit # _____

Permit Fee _____

Allowable Use Permitted Discretionary

Building Permit # _____

Advertising Fee _____

Total _____

Any personal information collected on this form is collected under the Municipal Government Act and in accordance with the Freedom of Information and Protection of Privacy Act. The information is required and will be used for issuing permits and planning & development purposes. Please Note that such information may be made public. If you have any questions about the collection, use, or disclosure of the personal information provided, please contact Information Management at 910 4 Ave S, Lethbridge, AB, T1J 0P6 or by phone at 403-329-7329

PROJECT DESCRIPTION :

- 1 STOREY RETAIL/ COMMERCIAL @ GRADE, 2 STOREY SUPPORTIVE HOUSING ABOVE

PROJECT DIRECTORY :

OWNER: STREETS ALIVE, 108 8TH ST. SOUTH, LETHBRIDGE, ALBERTA T1J 0P6...
BUILDING SAFETY DEPARTMENT: CITY HALL, 910 - 4th AVENUE SOUTH, LETHBRIDGE, ALBERTA T1J 0P6...

GENERAL NOTES :

- 1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS & INSPECTIONS REQUIRED FOR CERTIFICATE OF OCCUPANCY.
2. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE NBC-2015, CANADIAN BUILDRING CODE, RULES, & REGULATIONS OF ALL LEGALLY CONSTITUTED...
3. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE TEMPORARY SHORING AND BRACING FOR ALL STRUCTURAL ELEMENTS AS REQUIRED UNTIL NEW STRUCTURAL MEMBERS ARE PERMANENTLY INSTALLED...
4. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND CRITICAL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK...
5. CONTRACTOR SHALL VERIFY FIT & FINISH REQUIREMENTS FOR ALL PROJECT COMPONENTS, WITH OWNER, PRIOR TO ORDERING MATERIALS...
6. REPORT CONFLICTING INFORMATION TO OWNER PRIOR TO PROCEEDING WITH WORK...
7. THE GENERAL CONTRACTOR SHALL ENSURE THAT ALL MATERIALS, AS REQUIRED BY CODE, ARE TESTED BY INDEPENDENT LABORATORIES AND THAT RESULTS ARE FURNISHED TO LOCAL BUILDING AUTHORITIES, OWNER, AND THE PROJECT CONSULTANTS IF REQUESTED...
8. CONTRACTOR SHALL STRUT/BRACE ALL WALLS IN CONCRETE ADDS THE FOLLOWING: THE AND SHORE BARRIER - PROTECT ALL OPENINGS...
9. BY THE USE OF THE DRAWINGS FOR CONSTRUCTION OF THE PROJECT, THE OWNER REPRESENTS THAT THEY HAVE REVIEWED AND APPROVED THE DRAWINGS, AND THAT THE CONSTRUCTION DOCUMENT PHASE OF THE PROJECT IS COMPLETE...
10. CONTRACTOR SHALL BE RESPONSIBLE FOR THE WORK AS A WHOLE SHALL BE COMPLETED WITHOUT CONFLICT OR DELAY. THE OWNER AND THE CONSULTANTS SHALL NOT BE RESPONSIBLE FOR HOW THE WORK IS PERFORMED, SAFETY AND NEGLIGENCE ACTS OR OMISSIONS BY THE GENERAL CONTRACTOR OR THE SUBCONTRACTORS ON THE JOB...
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS & INSPECTIONS REQUIRED FOR CERTIFICATE OF OCCUPANCY...
12. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ACCOMMODATE THEMSELVES WITH THE DIMENSIONS OF ALL EQUIPMENT INCLUDED IN THE DRAWINGS...
13. CONTRACTOR SHALL NEVER SCALE DRAWINGS. LOCATIONS FOR ALL PARTITIONS, WALLS, CEILING, ETC. WILL BE DETERMINED BY DIMENSIONS ON THE DRAWINGS...
14. THE CONTRACTOR SHALL ADHERE TO THE DRAWINGS AND SPECIFICATIONS. SHOULD ANY ERROR OR INCONSISTENCY APPEAR REGARDING THE TRUE MEANING AND/OR INTENT OF THE DRAWINGS OR SPECIFICATIONS, THE CONTRACTOR SHALL IMMEDIATELY REPORT SAME TO THE ARCHITECT WHO WILL MAKE ANY NECESSARY CLARIFICATION, INTERPRETATION, OR REVISION AS REQUIRED...
15. IF THE CONTRACTOR FAILS TO OBEY OR REPORT THE CONDITION, THE CONTRACTOR SHALL ASSUME ALL CHARGES AND MAKE ANY CHANGES TO HIS WORK MADE NECESSARY BY THE CONTRACTOR'S FAILURE TO OBEY OR REPORT THE CONDITION...
16. IF THE INTENT OF THE DRAWINGS & SPECIFICATIONS ARE UNCLEAR, THE CONTRACTOR SHALL ASK THE ARCHITECT FOR CLARIFICATION. PRIOR TO COMMENCING WORK, THE CONTRACTOR SHALL OBTAIN A WRITTEN R.F.I. (REQUEST FOR INFORMATION). THE ARCHITECT SHALL THEN RESPOND IN WRITING TO ALL APPROPRIATE PARTIES...
17. CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION OF WORK, MATERIALS, FIXTURES, ETC. IN LEASED SPACE FROM LOSES, DAMAGE, FIRE, THEFT, ETC...
18. THE TERM OR EQUIVALENT SHALL MEAN EQUAL PRODUCT AS APPROVED IN WRITING BY ARCHITECT...
19. IF THE CONTRACTOR PROPOSES A MATERIAL OR EQUIPMENT SUBSTITUTION THE CONTRACTOR SHALL PROVIDE ALL APPROPRIATE DOCUMENTATION AND INFORMATION REQUIRED FOR THE ARCHITECT TO DETERMINE WHETHER OR NOT THE SUBSTITUTION IS EQUAL TO THE SPECIFICATION. ANY CHANGES TO THE DESIGN, AFTER ISSUANCE OF A BUILDING PERMIT, SHALL BE SUBMITTED TO THE PRESIDING BUILDING OFFICER FOR APPROVAL...
20. CONTRACTOR SHALL PROVIDE AND INSTALL ALL NECESSARY IN-WALL FINISHES/LOOKINGS REQUIRED TO CARRY SHELF, HANGING, AND VALANCE LOADS, WALLINGS, ETC. AS PER PLANS...
21. PROVIDE SILICONE SEALANT AT ALL JOINTS AND INTERFACES OF ALL COUNTERTOPS, EQUIPMENT AND WALLS...
22. CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION OF WORK, MATERIALS, FIXTURES, ETC. IN LEASED SPACE FROM LOSES, DAMAGE, FIRE, THEFT, ETC...
23. THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL FOOD SERVICE EQUIPMENT AND COORDINATE LOCATION OF FLOOR SINKS, FLOOR DRAINS, SLOTTED/GRAB DRAINS, ELECTRICAL AND PLUMBING STUD CUTS, AND ALL OTHER WORK UNDER THIS PROJECT...
24. THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE ALL WORK WITH THE REQUIREMENTS OF THE SUPPLIERS FOR THE MATERIALS REPRESENTED BY SHOP DRAWINGS...
25. CONTRACTOR SHALL REFER TO THESE DOCUMENTS, AS WELL AS SPECIFICATIONS, FOR IDENTIFICATION OF ALL OWNER SUPPLIED ITEMS...
26. MINIMUM FLAME SPREAD CLASSIFICATION OF INTERIOR FINISHES SHALL CONFORM TO THE NBC-2015 AND LOCAL GOVERNING BUILDING CODES/ORDINANCES...
27. CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES PRIOR TO THE COMMENCEMENT OF WORK TO VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES...
28. CONTRACTOR SHALL VERIFY WITH OWNER, PRIOR TO ORDERING, WHICH ITEMS THE OWNER SHALL SUPPLY. ALL ITEMS NOT MARKED AS SUPPLIER PROVIDED ARE TO BE SUPPLIED BY THE CONTRACTOR...
29. CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES PRIOR TO THE COMMENCEMENT OF WORK TO VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES...
30. CONTRACTOR SHALL VERIFY WITH OWNER, PRIOR TO ORDERING, WHICH ITEMS THE OWNER SHALL SUPPLY...
31. ALL FINISHES SHALL BE INSTALLED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS...
32. CONTRACTOR SHALL VERIFY WITH OWNER, PRIOR TO ORDERING, WHICH ITEMS THE OWNER SHALL SUPPLY...
33. SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE ARCHITECT WHO SHALL REVIEW THEM AND PROVIDE A NOTATION INDICATING THAT THEY ARE DEFERRED...
34. SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND FOUND TO BE IN GENERAL CONFORMANCE WITH DESIGN OF THE BUILDING...
35. SUBMIT SAMPLES IN TRIPLICATE FOR ALL FINISHES...
36. AS WELL AS AT THE JUNCTION OF INTERSECTING WOOD FRAMING AND STEEL STUD WALL AND FLOORS.

Architectural Sheet List

Table with 2 columns: Sheet Number, Sheet Name. Rows include DD0-1 Project Information, DD1-1 Site Plan, DD2-1 Main Floor Plan, DD2-2 Second Floor Plan, DD2-3 Third Floor Plan, DD2-4 Roof Plan, DD3-1 Elevations, DD3-2 Elevations, DD9-1 Site Details. Grand total: 9

Civil Sheet List

Table with 2 columns: Sheet Number, Sheet Name. Empty table.

Structural Sheet List

Table with 2 columns: Sheet Number, Sheet Name. Empty table.

Mechanical Sheet List

Table with 2 columns: Sheet Number, Sheet Name. Empty table.

Electrical Sheet List

Table with 2 columns: Sheet Number, Sheet Name. Empty table.

LEGAL ADDRESS: LOT 19,20 & LOT 2-22, BLOCK 8, PLAN 43535

MUNICIPAL ADDRESS: 108 8TH ST. SOUTH & 712 1ST AVE. SOUTH, LETHBRIDGE, ALBERTA

STREETS ALIVE SUPPORTIVE HOUSING

LETHBRIDGE, ALBERTA



Project information header including key plan, legal description, client information, revision schedule, consultant logo, architectural seal, and project details like location (108 8th St. South, 712 1 Ave South) and sheet number (DD0.1).

KEY PLAN:
 LEGAL DESCRIPTION:
 LOT 19, 20, 21
 BLOCK 8
 PLAN 436388
 MUNICIPAL ADDRESS:
 108 8TH ST SOUTH
 LETHBRIDGE, ALBERTA

CLIENT INFORMATION:

#	Description	Date
Revision Schedule		

CONSULTANT LOGO:

NO.	BY	DESCRIPTION	DATE
3	LRP	RE-ISSUE FOR DEVELOPMENT PERMIT	2021 07 30
2	LRP	ISSUE FOR REVISED DP	2020 11 27
1	LRP	ISSUE FOR DEVELOPMENT PERMIT	2020 11 06

Norland Coach House
 #10 9001 Range Road 212,
 Lethbridge County, Alberta
 T1K 1T6
 alvin@alvinfritzarchitect.com
 ph. (403) 320-8100
 Fax (403) 327-3373
 general@alvinfritzarchitect.com

ALVIN FRITZ
 ARCHITECT
 INC.
 PROFESSIONAL SEAL:


REINHARD FRITZ ARCHITECT INC.
 PERMIT NO. 416
 2021-07-23
 ISSUED PURSUANT TO THE
 ARCHITECTS ACT OF ALBERTA

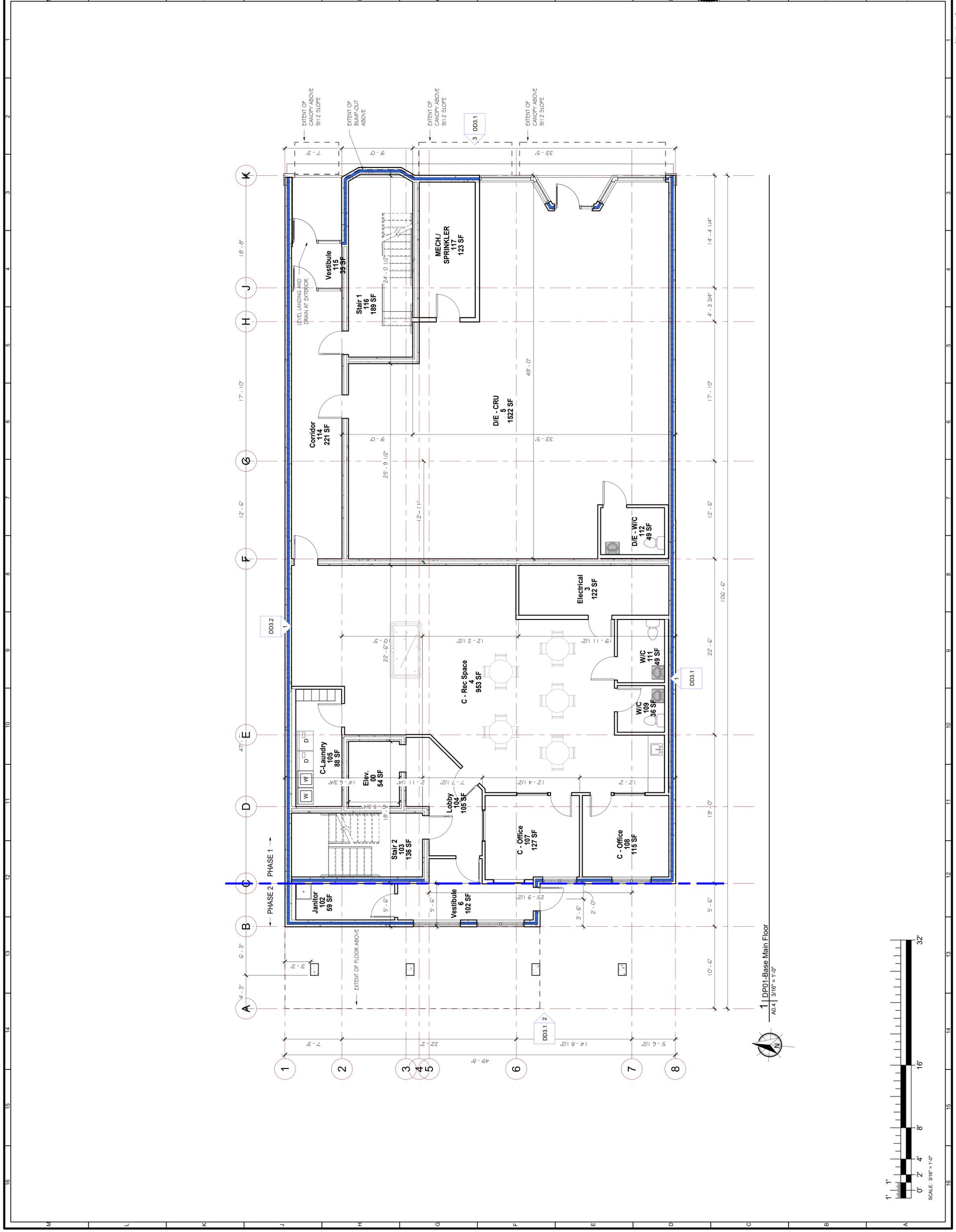
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 ARCHITECT INC. and shall not be reproduced or
 used without the architect's written permission.

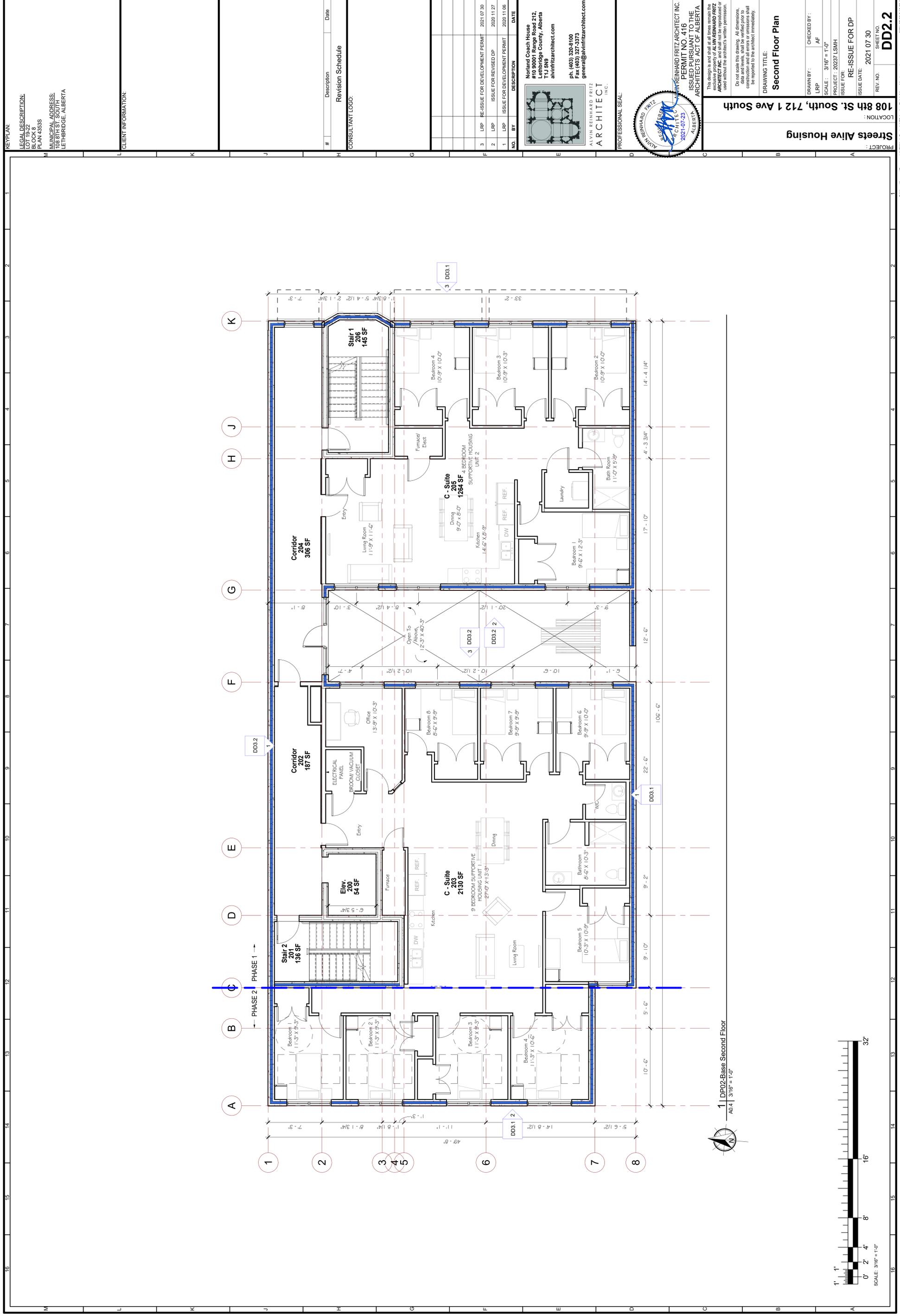
Do not scale this drawing. All dimensions,
 data and levels, shall be verified prior to
 construction. Any errors or omissions shall
 be reported to the architect immediately.

DRAWING TITLE:
Main Floor Plan

DRAWN BY: _____ CHECKED BY: _____
 LRP AF
 SCALE: 3/16" = 1'-0"
 PROJECT: 20237 LSMH
 ISSUE FOR: RE-ISSUE FOR DP
 ISSUE DATE: 2021 07 30
 REV. NO. _____ SHEET NO. **DD2.1**

PROJECT: **Streets Alive Housing**
 LOCATION: **108 8th St. South, 712 1 Ave South**





LEGAL DESCRIPTION:
 LOT 7, 19, 20
 BLOCK 8
 PLAN 435358
 MUNICIPAL ADDRESS:
 108 8TH ST SOUTH
 LETHBRIDGE, ALBERTA

CLIENT INFORMATION:

#	Description	Date
Revision Schedule		
CONSULTANT LOGO:		

NO.	BY	DESCRIPTION	DATE
3	LRP	RE-ISSUE FOR DEVELOPMENT PERMIT	2021 07 30
2	LRP	ISSUE FOR REVISED DP	2020 11 27
1	LRP	ISSUE FOR DEVELOPMENT PERMIT	2020 11 06

Norland Coach House
 #10 9001 Range Road 212,
 Lethbridge County, Alberta
 alvinritzarchitect.com
 ph. (403) 320-8100
 Fax (403) 327-3373
 general@alvinritzarchitect.com

ALVIN RITZ ARCHITECT INC.
 PROFESSIONAL SEAL

REINHARD FRITZ ARCHITECT INC.
 PERMIT NO. 416
 2021-07-23
 ISSUED PURSUANT TO THE
 ARCHITECTS ACT OF ALBERTA

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 data and levels shall be verified prior to
 construction. Any errors or omissions shall
 be corrected at the architect's responsibility.

DRAWING TITLE:
Second Floor Plan

DRAWN BY: LRP
 CHECKED BY: AF

SCALE: 3/16" = 1'-0"

PROJECT: 20237 LSMH

ISSUE FOR: RE-ISSUE FOR DP

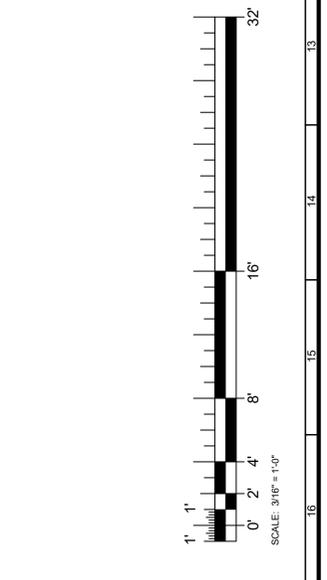
ISSUE DATE: 2021 07 30

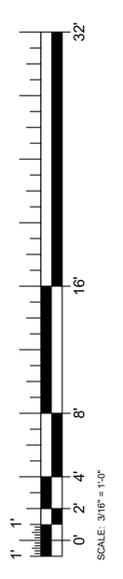
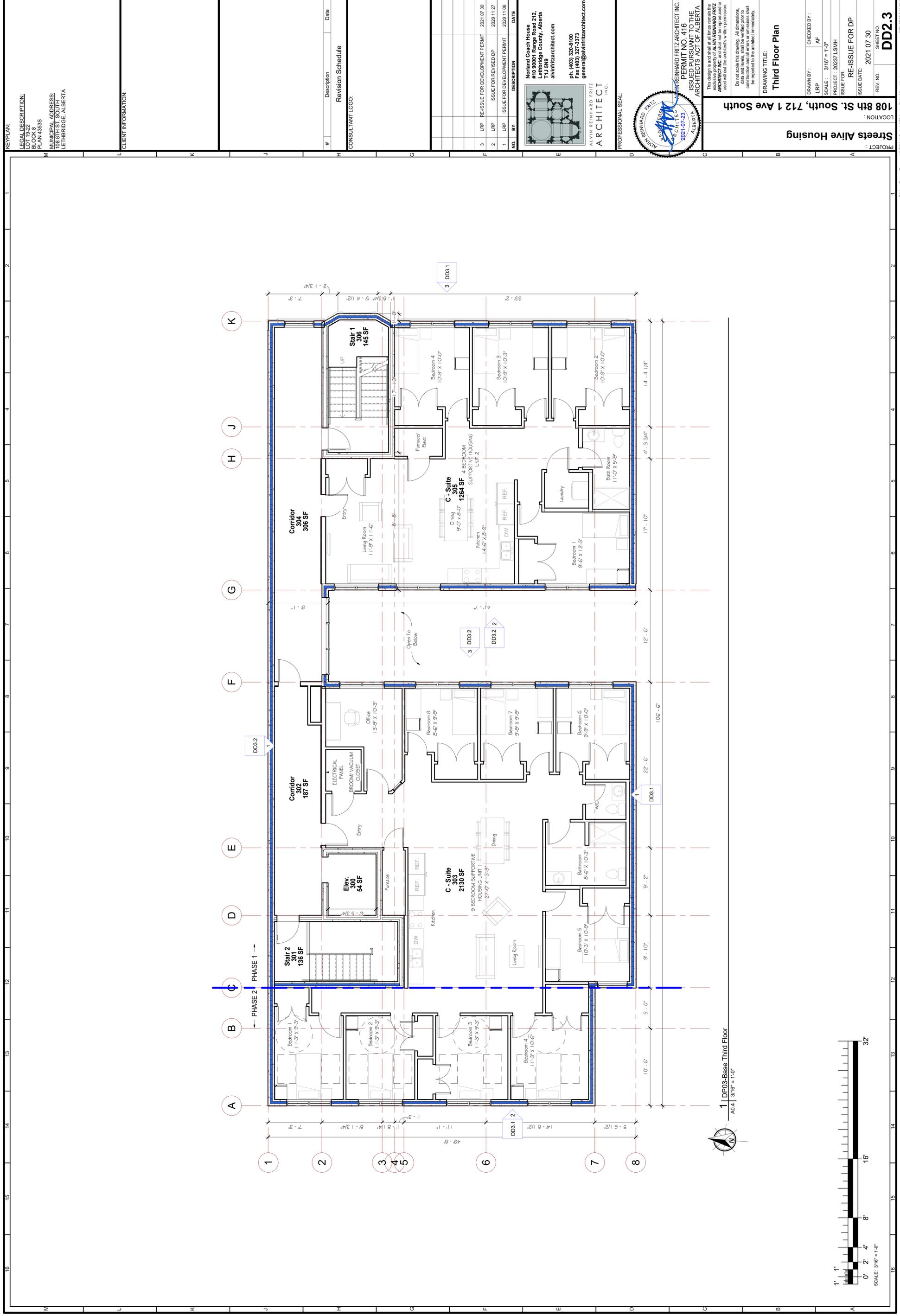
REV. NO. SHEET NO.
 DD2.2

LOCATION: 108 8th St. South, 712 1 Ave South

PROJECT: Streets Alive Housing

1 | DP02-Base Second Floor
 A0.4 | 3/16" = 1'-0"





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Do not scale this drawing. All dimensions, data and levels, shall be verified prior to construction. Any errors or omissions shall be reported to the architect immediately.

KEY PLAN:
 LEGAL DESCRIPTION:
 LOT 19, 20
 BLOCK 8
 PLAN 43535
 MUNICIPAL ADDRESS:
 108 8TH ST SOUTH
 LETHBRIDGE, ALBERTA

CLIENT INFORMATION:

#	Description	Date
Revision Schedule		

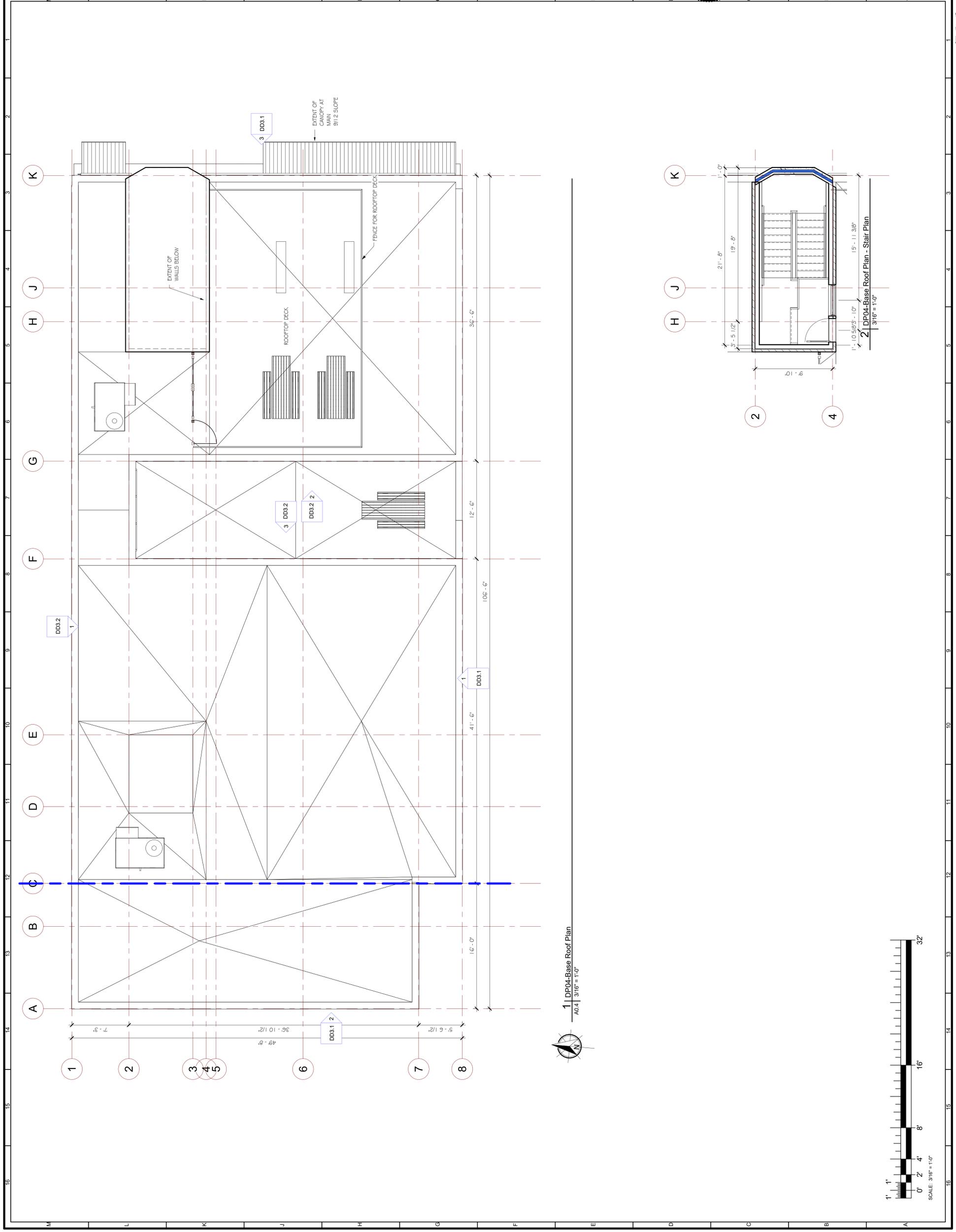
CONSULTANT LOGO:

NO.	BY	DESCRIPTION	DATE
3	LRP	RE-ISSUE FOR DEVELOPMENT PERMIT	2021 07 30
2	LRP	ISSUE FOR REVISED DP	2020 11 27
1	LRP	ISSUE FOR DEVELOPMENT PERMIT	2020 11 06

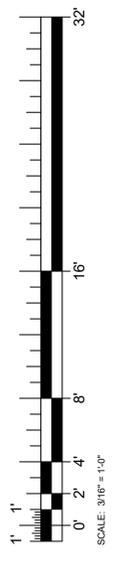
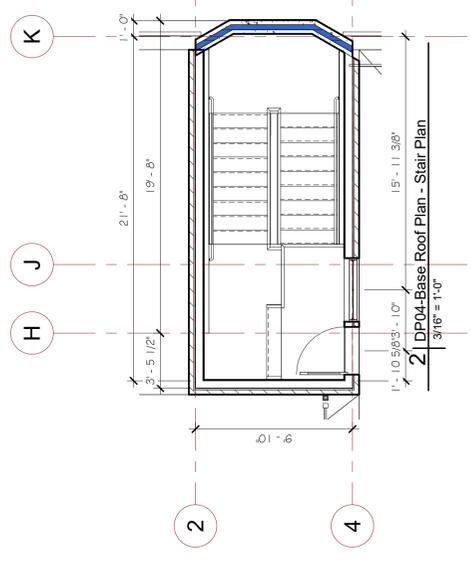
ALVIN REINHARD FRITZ ARCHITECT INC.
 PROFESSIONAL SEAL:
 Alvin Reinhard Fritz
 Architect
 No. 403 320-8100
 Fax 403 327-3373
 alvin@alvinfritzarchitect.com

ALVIN REINHARD FRITZ ARCHITECT INC.
 PERMIT NO. 416
 2021-07-23
 ISSUED PURSUANT TO THE ARCHITECTS ACT OF ALBERTA

PROJECT: Streets Alive Housing
 LOCATION: 108 8th St. South, 712 1 Ave South
 DRAWN BY: LRP
 CHECKED BY: AF
 SCALE: 3/16" = 1'-0"
 PROJECT: 20237 LSMH
 ISSUE FOR: RE-ISSUE FOR DP
 ISSUE DATE: 2021 07 30
 REV. NO. SHEET NO.
DD2.4



1 | DP04-Base Roof Plan
 A0.4 | 3/16" = 1'-0"



LEGAL DESCRIPTION:
 LOT 78, 79, 80
 BLOCK 8
 PLAN 43638
 MUNICIPAL ADDRESS:
 108 8TH ST SW
 LETHBRIDGE, ALBERTA

CLIENT INFORMATION:

#	Description	Date
Revision Schedule		

CONSULTANT LOGO:

NO.	BY	DESCRIPTION	DATE
3	LRP	RE-ISSUE FOR DEVELOPMENT PERMIT	2021 07 30
2	LRP	ISSUE FOR REVISED DP	2020 11 27
1	LRP	ISSUE FOR DEVELOPMENT PERMIT	2020 11 06

Norland Coach House
 #10 9001 Range Road 212,
 Lethbridge County, Alberta
 alvritzfritzarchitect.com

ph: (403) 320-8100
 Fax: (403) 327-3373
 general@alvritzfritzarchitect.com

ALVIN REINHARD FRITZ ARCHITECT INC.



PROFESSIONAL SEAL:

REINHARD FRITZ ARCHITECT INC.
 PERMIT NO. 416
 ISSUED PURSUANT TO THE ARCHITECTS ACT OF ALBERTA

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DRAWING TITLE:
Elevations

DRAWN BY: Author
CHECKED BY: Checker

SCALE: As Indicated

PROJECT: 20237 LSHM

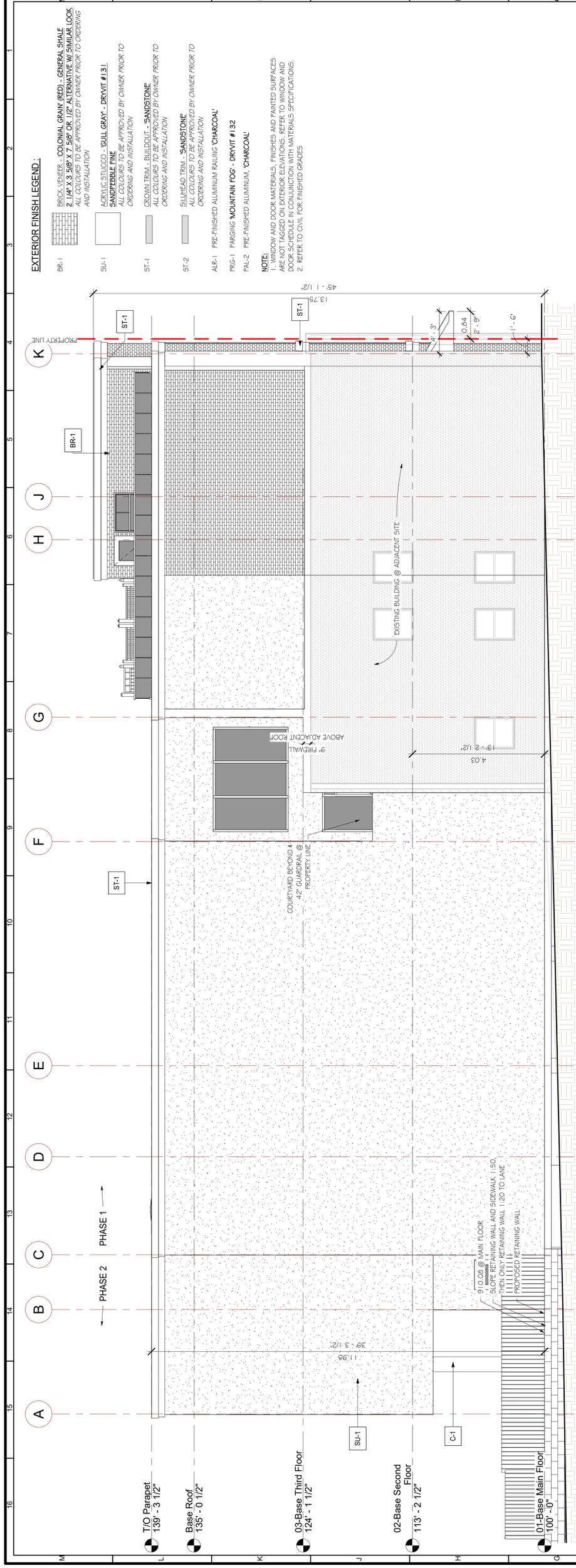
ISSUE FOR: RE-ISSUE FOR DP

ISSUE DATE: 2021 07 30

REV. NO.: DD3.1

LOCATION: 108 8th St. South, 712 1 Ave South

PROJECT: Streets Alive Housing



1 South Elevation -DP
 DD2.1 3/16" = 1'-0"



2 West Elevation -DP
 DD2.1 3/16" = 1'-0"

3 East Elevation -DP
 DD2.1 3/16" = 1'-0"

KEYPLAN:
 LEGAL DESCRIPTION:
 LOT 19, 20, 21
 BLOCK 8
 PLAN 43535
 MUNICIPAL ADDRESS:
 108 8TH ST SOUTH
 LETHBRIDGE, ALBERTA

CLIENT INFORMATION:

#	Description	Date
Revision Schedule		

CONSULTANT LOGO:

NO.	BY	DESCRIPTION	DATE
3	LRP	RE-ISSUE FOR DEVELOPMENT PERMIT	2021 07 30
2	LRP	ISSUE FOR REVISED DP	2020 11 27
1	LRP	ISSUE FOR DEVELOPMENT PERMIT	2020 11 06

Norland Coach House
 #10 9001 Range Road 212,
 Lethbridge County, Alberta
 T1M 1K1
 alvin@alvinritzarchitect.com
 ph. (403) 320-8100
 Fax (403) 327-3373
 general@alvinritzarchitect.com

ALVIN RITZ ARCHITECT INC.
 PROFESSIONAL SEAL:
 ALVIN RITZ
 ARCHITECT
 ALBERTA

PERMIT NO. 416
 PERMITTED PURSUANT TO THE ARCHITECTS ACT OF ALBERTA

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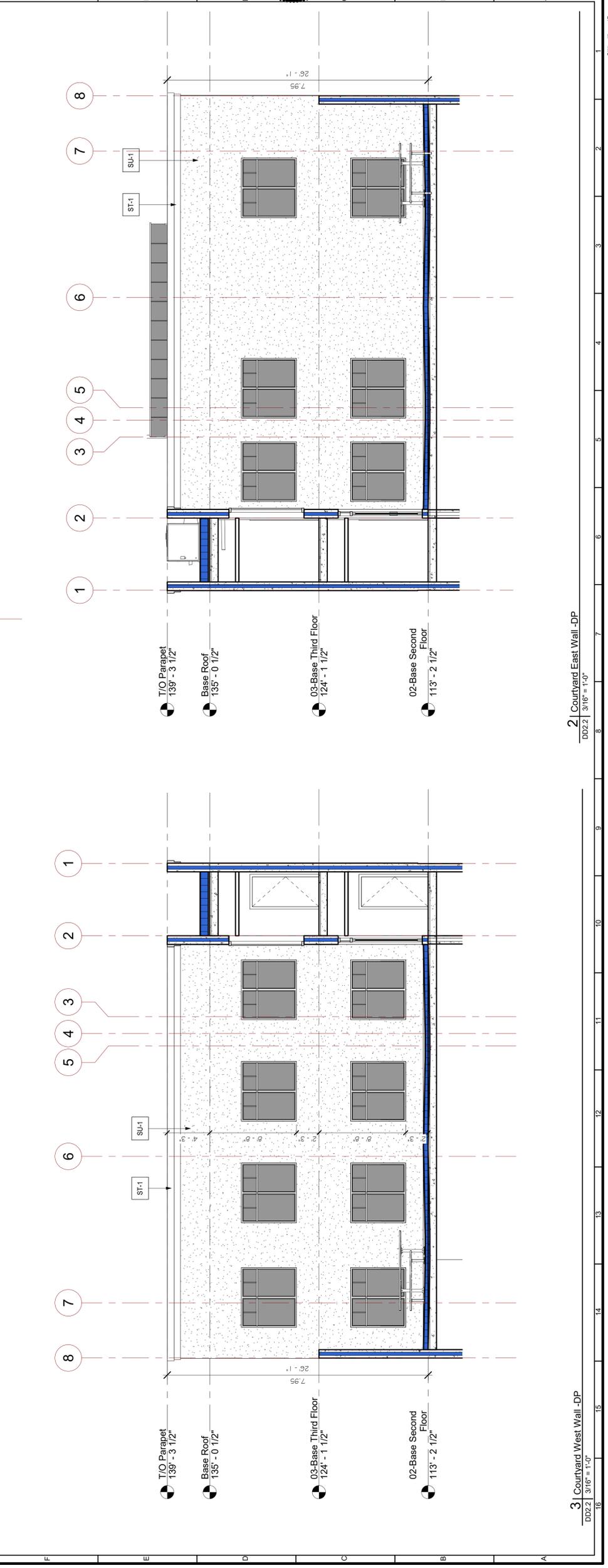
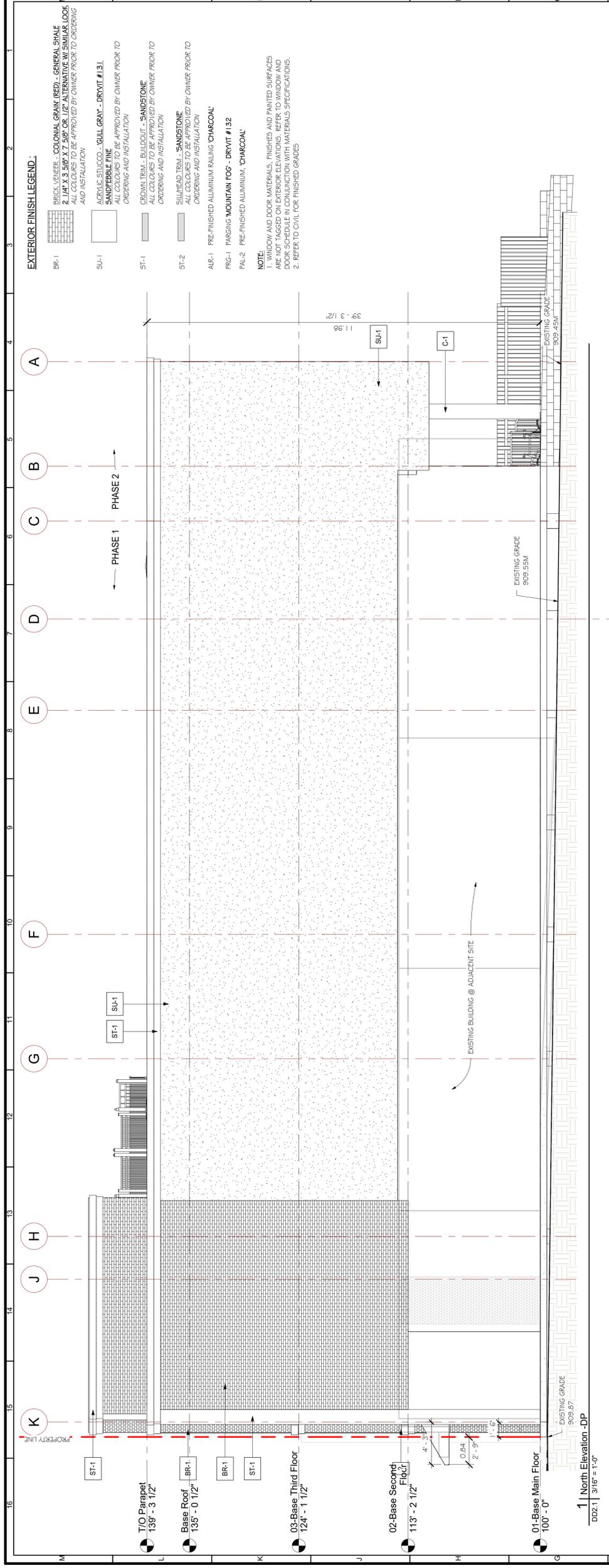
Do not scale this drawing. All dimensions, data and levels, shall be verified prior to construction. The architect or engineer shall be responsible for the accuracy of the information supplied to the project immediately.

DRAWING TITLE:
Elevations

PROJECT: Streets Alive Housing
LOCATION: 108 8th St. South, 712 1 Ave South

DRAWN BY: Author
CHECKED BY: Checker

SCALE: As indicated
PROJECT: 20237 LSMH
ISSUE FOR: RE-ISSUE FOR DP
ISSUE DATE: 2021 07 30
REV. NO.: SHEET NO.
DD3.2



KEY PLAN:
 LEGAL DESCRIPTION:
 LOT 7, 8, 9, 10, 11, 12, 13, 14, 15, 16
 BLOCK 8
 PLAN 43638
 MUNICIPAL ADDRESS:
 108 8TH ST SOUTH
 LETHBRIDGE, ALBERTA

#	Description	Date
3	LRP RE-ISSUE FOR DEVELOPMENT PERMIT	2021 07 30
2	LRP ISSUE FOR REVISED DP	2020 11 27
1	LRP ISSUE FOR DEVELOPMENT PERMIT	2020 11 06

CLIENT INFORMATION:
 Norland Coach House
 #10 9001 Range Road 212,
 Lethbridge County, Alberta
 T1K 2V1
 alvinitzarchitect.com
 ph. (403) 320-8100
 Fax (403) 327-3373
 general@alvinitzarchitect.com

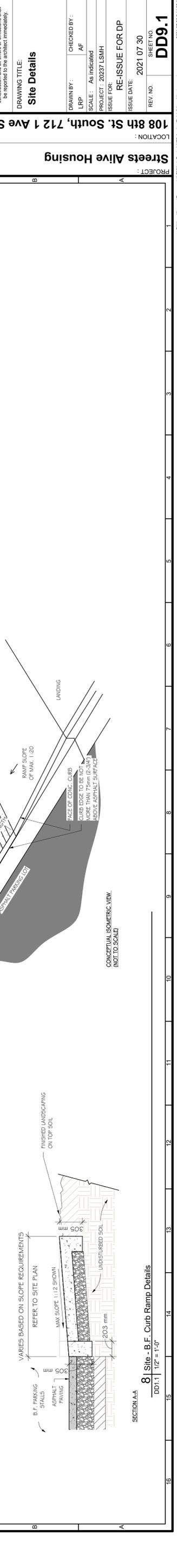
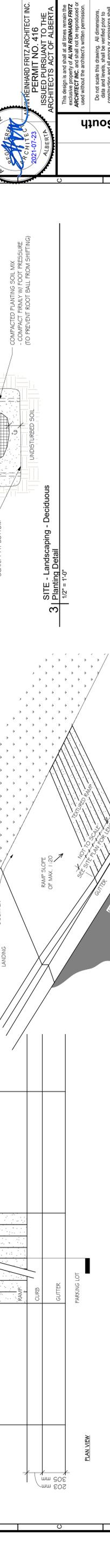
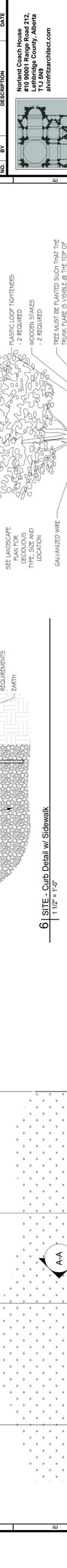
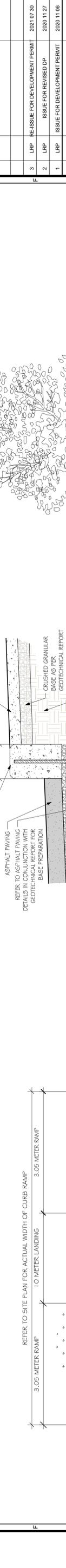
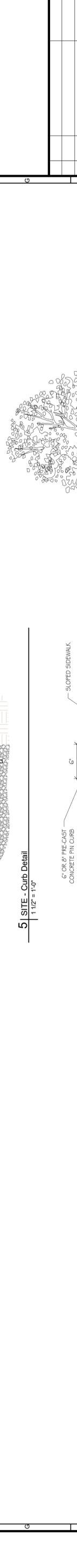
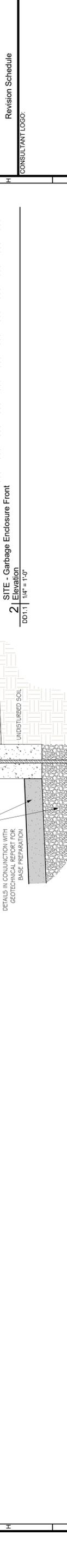
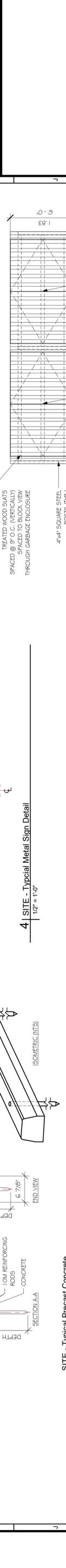
ARCHITECT:
 ALVIN REINHARD FRITZ
 ARCHITECT INC.
 PROFESSIONAL SEAL:
 ALVIN REINHARD FRITZ
 ARCHITECT
 PERMIT NO. 416
 ISSUED PURSUANT TO THE
 ARCHITECTS ACT OF ALBERTA
 2021-07-29

DRAWING TITLE:
Site Details

DRAWN BY: LRP
 CHECKED BY: AF
 SCALE: As indicated
 PROJECT: 2023T.LSMH
 ISSUE FOR: RE-ISSUE FOR DP
 ISSUE DATE: 2021 07 30
 REV. NO. SHEET NO.
 DD9.1

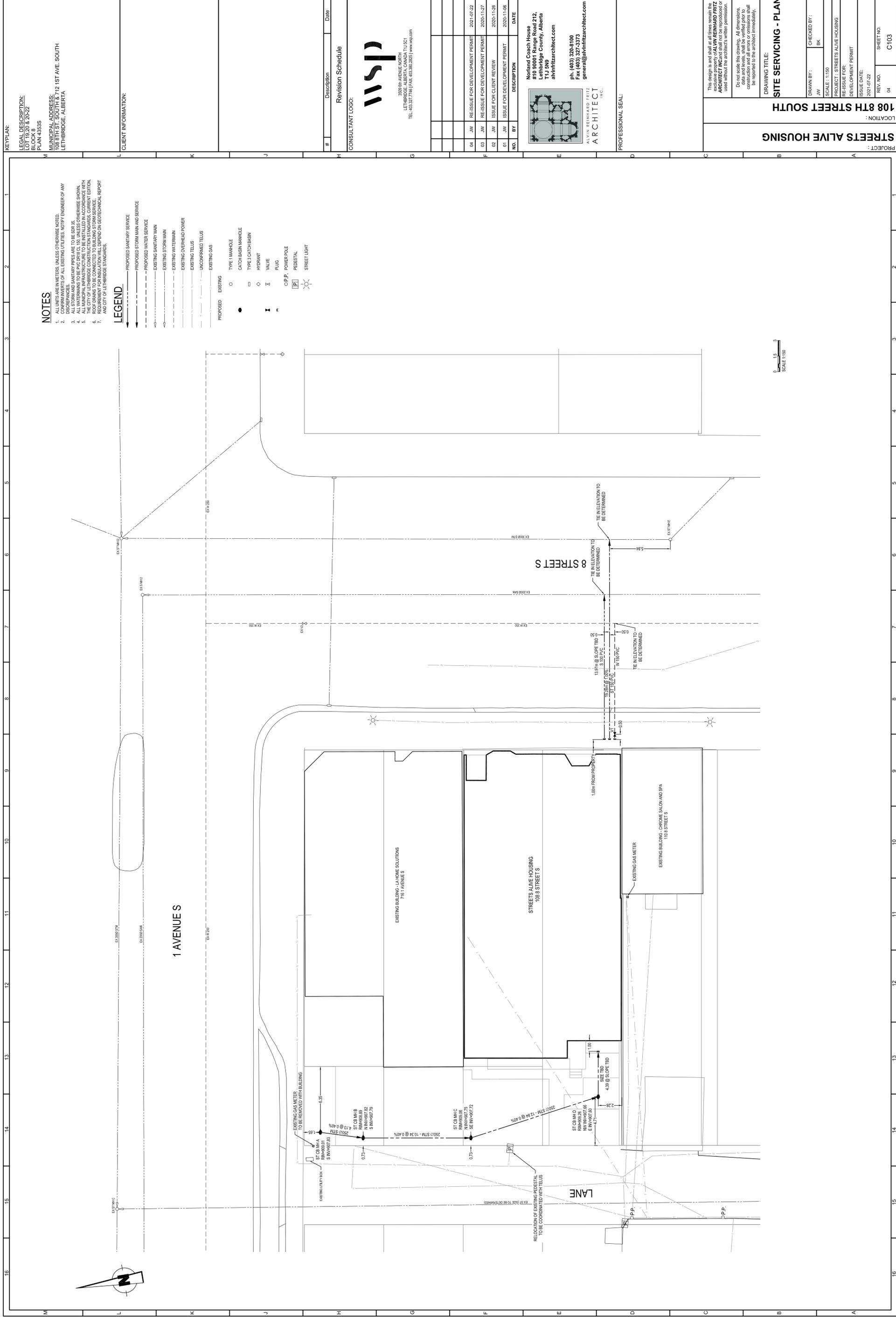
LOCATION:
 108 8th St. South, 712 1 Ave South

PROJECT:
 Streets Alive Housing



REVISION SCHEDULE

CONSULTANT LOGO



**Neighborhood Communications Plan
Streets Alive Family Support Association
Exodus Supportive Recovery Housing
108-8th Street S Lethbridge, AB**

What is Happening?

- For the past 22 years the facility located at 712-1st Ave S has housed a men's transitional recovery housing program. This is a residential facility offering program assistance to help up to 18 men recover and stabilize their lives to return them to independent living.
- A decision has been made by the Association to replace this facility with a new one to be located on the property at 108-8th Street S. A development application is being made to the City of Lethbridge which will approve and accomplish the following:
 - a) Combine the titles of 712-1st Ave S and 108-8th Street S into one title for 108-8th Street S.
 - b) Allow for the construction of a three-story structure that will house store front commercial space and programming space on the main floor and 24 beds of supportive recovery housing on the upper two floors
 - c) See the demolition of the old facility at 712-1st Ave S to allow for parking stalls for staff and commercial space occupants. Parking for residents under the new Supportive Housing use is not required.
- The facility will have staff on 24 hours a day.

Who are we?

Streets Alive Family Support Association

- Streets Alive Family Support Association is local nonprofit charity that was established in 1990 as a Christian Humanitarian Organization dedicated to providing for the physical, social, emotional and spiritual wants of those people lacking hope or in need in the Lethbridge area to empower them to change their lives through the Gospel of Jesus Christ.
- To accomplish our mandate our operations include in addition to the men's supportive recovery housing program: A women's supportive recovery housing unit, men's and women's recovery programs, mobile outreach; clothing, furniture and food distribution center, counseling and referral services; trustee services and a fellowship service. The main office of the Mission is located at 323-4th Street S., Lethbridge Alberta. Streets Alive Family Support Association conducts a yearly review of its operations – neighbor relations are one of the areas examined. We review the Neighborhood Communication Log and we review and up-date the Neighborhood Communication Plan.
- Streets Alive Family Support Association is governed by a Board of Directors, a list of which can be obtained from www.streetsalive.ca

Funding & Ownership

- The Exodus Supportive Recovery Housing Program is funded by program fees and private donations through the charity.
- The facilities are owned by Streets Alive Family Support Association.

Property maintenance

- Building maintenance is the responsibility of the property owner who has contracted Lethbridge Housing Authority to handle all maintenance after construction.

Maintaining Neighborhood Relations

- Streets Alive Family Support Association is committed to keeping communication lines with the neighborhood open. Annually senior administration staff of the Association will deliver a current Neighborhood Communication Plan relative to the Exodus Supportive Recovery Housing to all the businesses, or apartment building managers within a two-block radius of 108-8th Street S.
- Should some significant aspect of the Exodus Supportive Recovery Housing operation change in the course of an upcoming year (particularly, the contact names and numbers), neighbors who have received this Neighborhood Communication Plan will be notified of the changes by letter.
- Interested neighbors are welcome to contact Exodus Supportive Recovery Housing staff to arrange for a tour of the facilities and an explanation of the program and protocols.
- Please note the letter accompanying this plan. It asks if you have experienced any concerns with the Exodus Supportive Recovery Housing in the past year. If you have, please read the 'Responding to Complaints and Concerns' section below.

Responding to Complaints and Concerns

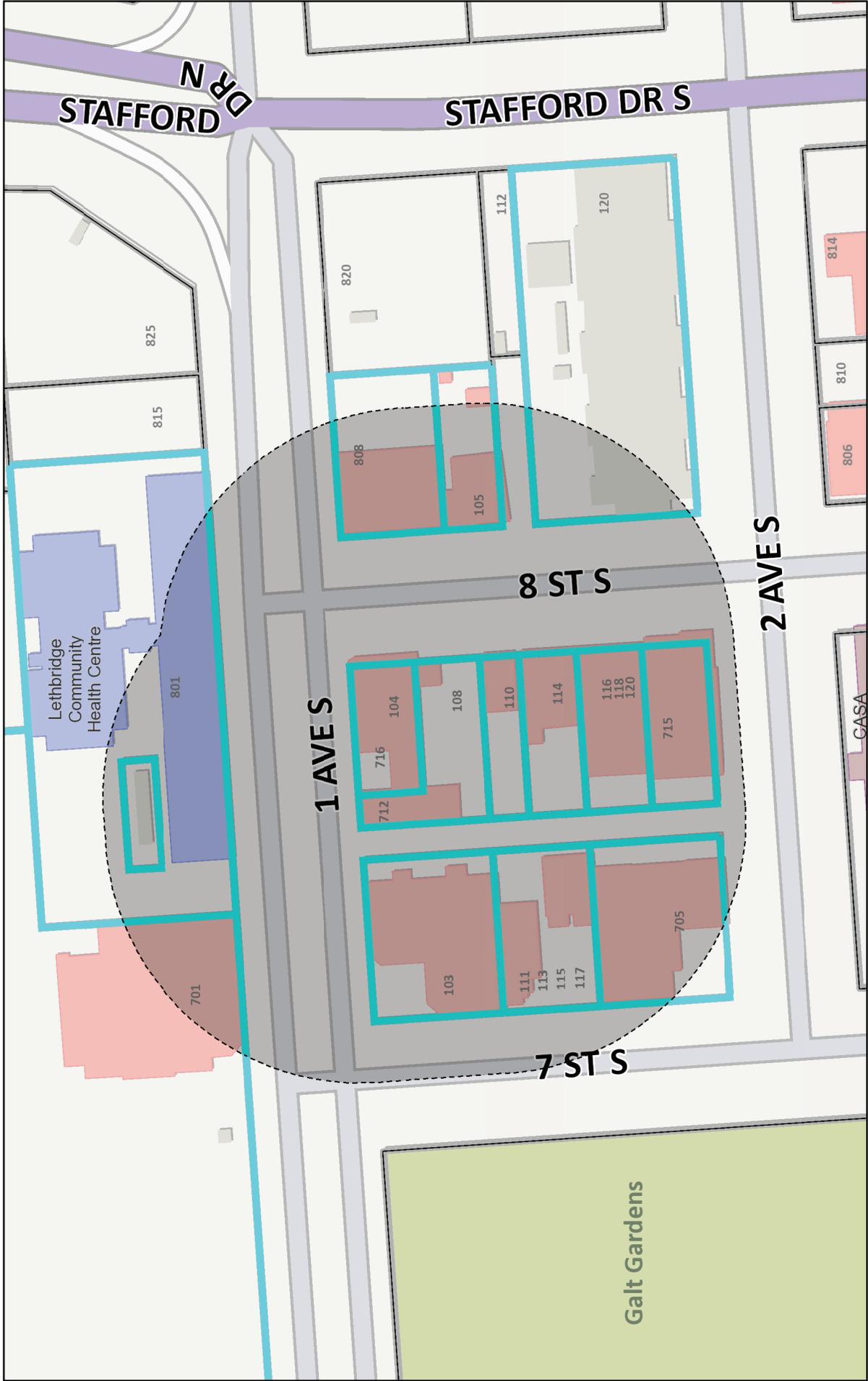
- If you experience a problem with the operation of the Exodus Supportive Recovery Housing located at 108-8th Street S. you may do any of the following:
 - a) Contact Exodus Supportive Recovery Housing staff at 403-320-1103 or attend the facility in person
 - b) Contact the Streets Alive Mission at 403-320-1159 or drop into the Mission at 323-4th Street S. to speak to a senior staff member
- The Exodus Supportive Recovery Housing and Streets Alive Mission staff are required to record your concern in the 'Neighborhood Communication Log' so they will take a little of your time to get the details. They will ask your name, address, and phone number and ask for a full description of what you have been experiencing. The action taken and resolution to the problem is also recorded in the logbook.
- The Neighborhood Communication Log is examined during the yearly operational review mentioned in 1(3) above as well as copies are made available to Downtown Lethbridge BRZ.
- If the solution to your problem is simple and under staff control, they may immediately implement the solution.
- If the problem is more complex, your concern will be relayed to the Streets Alive Family Support Association management team under the direction of Founders Pastors Julie and Ken Kissick. A member of the management team will try to reach you within 5 working days to discuss the circumstances with you. In case they are unable to, you may reach any member through the contact information found at www.streetsalive.ca. The management team will do their utmost to solve the problem to your satisfaction.

Resolving Disputes

- Please allow the management team adequate time to derive a solution. If, after **2 weeks** from the time of your original complaint, that appears to be impossible, you may take your concern to the Board of Directors of Streets Alive Family Support Association. The Board will work to resolve the situation within 60 days. The Board contact is Chuck Leblanc, Chairman who can be reached at 403-715-1712 or chuck@streetsalive.ca
- Should you be dissatisfied with the outcome of the Board decision you may contact:

Pastor Craig Webber, President
 Lethbridge Evangelical Ministerial Association
 82002 Range Road 215
 Lethbridge, County, AB
 (403) 328-8915

Parcel Locator WebMAP



September 7, 2021

□ Parcels

Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, Geobase, IGN, Kadaster NL, Ordnance Survey, Esri



Subdivision & Development Appeal Board

SDAB Meeting September 16, 2021



APPLICATION NO.

DEV13215

LOCATION

108 - 8 Street South

LAND USE DISTRICT

C-D Downtown Commercial District

APPELLANT

Alvin Reinhart Fritz Architect Inc

LANDOWNER

Streets Alive Family Support Association

CURRENT DEVELOPMENT

108 8 Street South is a partially vacant parcel. It has been consolidated with 712 1 Avenue South which was approved as a rooming house. This would align with the boarding house definition in the current Land Use Bylaw.

PROPOSED DEVELOPMENT

To construct a new three storey building for the purpose of a supportive housing facility for 24 residents on the second and third floors. The main floor would have some programming space for the residents as well as one commercial rental unit. A request for a 7.56m (24'10") parcel width waiver and a 163m² (1754.5 sq ft) parcel area waiver as well as a waiver to allow for one additional small vehicle parking space.

The Municipal Planning Commission approved a maximum of 18 residents and all three of the waivers that were requested on August 23, 2021.

ADJACENT DEVELOPMENT

North	Commercial
South	Commercial
East	Commercial
West	Commercial

CONTEXT MAP**NOTIFICATION SUMMARY**

Neighbourhood: 15 letters mailed out on August 10, 2021 within a 60m radius of the subject parcel notifying the landowners of the proposed development and that the application would be brought before the Municipal Planning Commission on August 23, 2021. There was an advertisement in the Lethbridge Herald on August 14, 2021 notifying residents of the MPC meeting.

Neighbourhood Associations(s): N/A

LAND USE BYLAW SUMMARY

**Use: Supportive Housing
Retail
Office**

**Discretionary
Permitted
Permitted**

	Required	Requested	Approved/Waived
Clients	8 to 25	24	18
Parking: (HOCMP)	1/Dwelling Unit for supportive housing and 1/45m ² (NFA) for retail (if we based the parking requirements on the LUB, they would only require 4 spaces for the commercial component, Supportive Housing has a zero parking requirement)	7	7
Small car spaces	20%	2	1
Visitor Parking	0	0	N/A
Parcel Width	22.8m	15.24m	7.56m
Parcel Area	860m ²	697m ²	163m ²
Submission of a Neighbourhood Communication Plan	Submitted	Submitted and attached	N/A

EVALUATION

Background

- An application to construct a three storey supportive housing facility with one commercial retail unit was received on August 4, 2021. The main floor would be occupied by one commercial retail/office unit that would have frontage onto the street. The rear portion of the main floor would be for programming for the supportive housing residents as well as their laundry facilities. The floor plans submitted show second and third floors consist of two dwelling units per floor. One dwelling unit comprises of eight residents and the other will house four residents on each floor, 12 residents per floor for a total of 24 residents.
- In 2008, there was an application that was received and approved by the Municipal Planning Commission but later denied by the Subdivision and Development Appeal Board for a similar development. The appeal board had denied the proposal based on "the extent of the waiver for parking would unduly interfere with the amenities of the neighbourhood or materially interfere with or affect the use, enjoyment or value of the neighbouring parcels of land".
- In 2020, there was another application that was received and approved by the Municipal Planning Commission but later denied by the Subdivision and Development Appeal Board. This application did not require a parking waiver, however, it did require parcel area and parcel width waivers.
- Two of the waivers that were being requested with this application was a result of the housing component within the development. Section 66(4)(a) states that: building in which a residential use comprises 50% or more of the gross floor area the parcel width requirement is 22.8m and 860m² parcel area required. The request was for a 7.56m parcel width waiver and a 163m² parcel area waiver. If this were a three storey retail/office building, these waivers would not have be required. The requirement in the Land Use Bylaw for all other uses states a minimum of 4.6m in width for the parcel and 140m² area for the parcel. MPC approved the parcel width and area waivers on August 23, 2021 as well with the application in 2020. The third waiver was to allow for one additional small car parking space. The Land Use Bylaw states that the maximum number of small car parking spaces is 20% of all of the parking spaces. 20% of seven is 1.4 which must be rounded down. They are asking for two small car parking spaces which required the waiver of one space and was approved.

- This development is in the pedestrian core area of the downtown, which states “development in the pedestrian core area must have 100% of the property line adjacent to streets covered with building, or alternatively, a pedestrian oriented environment must be provided.”
- The building that occupies 712 – 1 Avenue South currently houses 18 of the individuals that would be residing in the new building. With 24 residents that were being requested this would have been a six person increase into the neighborhood.
- “Supportive Housing” means development providing accommodation for 8 to 25 residents and associated support programs meant to foster self-sufficiency. This use may include common kitchen and dining facilities, showers and bathrooms, training rooms, relaxation areas and laundry facilities as well as offices and accommodation for staff.

CONTEXT

This application is before the Board because:

- The applicant has appealed the decision of the Municipal Planning Commission

CONSIDERATIONS

- There is adequate outdoor amenity space for residents and staff, there is a patio area at the back of the property, there is also an outdoor courtyard on the second floor and the roof plan shows a roof top patio for residents to use.
- There is a 3.0m wide landscape strip adjacent to 1st Avenue South.
- There is currently a diverse mix of housing units in the downtown. These include approximately:
 - 51 Supportive housing units (this number includes the 18 that are currently at this location)
 - 981 Senior citizen housing units
 - 256 Market housing units
 - 89 Affordable housing units

LEGISLATION & POLICY

Land Use Bylaw 6300

- Parcel is zoned C-D Downtown Commercial District.
 - Purpose: For the development of a variety of commercial, residential, institutional, cultural and recreational uses that incorporate the Heart of our City Campaign pillars of beauty, livability, sustainability, accessibility, vibrancy and excitement in order to achieve the Vision of the Heart of our City Master Plan.
 - Supportive housing facilities are considered to be a compatible use.
 - Supportive housing facilities are discretionary uses in the C-D Downtown Commercial District.
- Retail and Offices are a permitted use in the C-D Downtown Commercial District.
- Division 1, Section 4: Definitions
 - Supportive Housing
 - Retail Store
 - Office
- Section 66 – C-D District

Municipal Development Plan:

- **“58 – Promote affordable housing by encouraging and facilitating the adequate supply of housing for all income groups”**
- **“59 – Ensure improvements are made to the availability and accessibility of affordable and supportive housing”**

- **“67 – Ensure a range of types and sizes of residential developments in the downtown are enabled and encouraged by reviewing the regulatory and statutory environment”**
- **“71 – Support innovative ways to achieve affordable housing”**
- **“72 – Support opportunities for municipal and private/public stakeholders to explore initiative that address the community’s need for affordable housing”**
- **“75 – Ensure existing parks and open spaces remain well-loved and well-used by the community, by committing to a continual process of redeveloping, re-envisioning, and reinvesting in these spaces”**
- **“110 – Ensure downtown continues to develop as a strong and vibrant neighbourhood where people can live, work and play”**
- **“113 – Promote a sustainable development pattern which makes efficient use of land, minimizes the need for motorized travel and facilitates social cohesion”**

Heart of our City Master Plan

- **Part 4 – The Guiding Framework**
 - **Urban Core and Heritage Blocks**
- **Part 5 – Development Design Guidelines for Urban Core Summary Table**
- **Part 5 – Central District Built Form Design Guidelines 3.1 to 3.8**
- **Part 5 – 4.1 Residential & Mixed-Use Types Low Rise Main Street Form**

South Saskatchewan Regional Plan 2014-2024

5. Efficient Use of Land

Objective:

- The amount of land that is required for development of the built environment is minimized over time.

Strategies:

5.1 All land-use planners and decision-makers responsible for land-use decisions are encouraged to **consider the efficient use of land principles** in land-use planning and decision-making.

Principles:

2. Utilize the minimum amount of land necessary for new development and build at a higher density than current practice.
3. Increase the proportion of new development that takes place within already developed or disturbed lands either through infill, redevelopment and/or shared use, relative to new development that takes place on previously undeveloped lands.
4. Plan, design and locate new development in a manner that best utilizes existing infrastructure and minimizes the need for new or expanded infrastructure.

CONCLUSION

- Allowable use downtown, even though it's discretionary the presumption is that is appropriate somewhere.
- No evidence that it is not appropriate on this block.
- They have carefully designed a purpose built facility that blends into the fabric of the existing neighbourhood.
- They are using quality construction materials.
- The building fills the gap in the current streetscape in just the way revitalization plans want.
- The waivers that were approved are a result of a housing component in the building. The Land Use Bylaw is vehicle orientated, so it requires larger parcels for residential uses to be constructed, however, Supportive Housing residents typically don't drive, so these waivers will not have any negative impacts on the surrounding property owners.
- The applicant submitted a Neighbourhood Communication Plan, which must be adhered too and was approved by MPC on August 23, 2021.
- With the removal of the current building on 1st Avenue South this allows for some landscaping along the street, which is a benefit to the neighbourhood.
- The new building meets or exceeds the requirements in the Land Use Bylaw, the Downtown Area Redevelopment Plan and the Heart of our City Master Plan. All of these documents speak to the livability of the downtown.

The Municipal Planning Commission approved the application, however, they amended the maximum number of residents that were originally applied for from 24 to 18. As well, the Municipal Planning Commission approved all three of the waivers that were being requested.



CITY OF
Lethbridge

NOTICE OF APPEAL
Subdivision & Development Appeal Board

In accordance with sections 678 and 686 of the *Municipal Government Act* and The City of Lethbridge Bylaw 4749, an appeal to the Subdivision and Development Board must be filed within the legislated time frame.

Site Information			(Date Received Stamp)
Municipal Address of Appeal 108 - 8 STREET SOUTH			
Legal Description of Site (must be completed for subdivision appeals) 43535.8.19-22			
Development Application Number or Subdivision Application Number DEVI3215			
Appellant Information			
Name BRAD PAUSTEINER / LA HOME SOLUTIONS			
Mailing Address 716 1 ST AVE S.			(Office use Only)
City LETHBRIDGE	Province ALBERTA	Postal Code T1J-0A7	
Residence #	Business # 403-320-9680	Email office@lahomesolutions.ca	

APPEAL AGAINST (Check One Box Only) for multiple appeals you must submit another Notice of Appeal

Development Permit	Subdivision Permit	Notice of Order
<input checked="" type="checkbox"/> Approval <input type="checkbox"/> Conditions of Approval <input type="checkbox"/> Refusal	<input type="checkbox"/> Approval <input type="checkbox"/> Conditions of Approval <input type="checkbox"/> Refusal	<input type="checkbox"/> Notice of Order

REASONS FOR APPEAL Sections 678 and 686 of the *Municipal Government Act* require that the written Notice of Appeal must contain specific reasons for the appeal.

The grounds for this appeal are as follows:

- NO SAFETY/SECURITY PLAN OR INFORMATION FOR THE SURROUNDING COMMUNITY & BUSINESSES & WOMEN
- NO TANGIBLE/ACTIONABLE COMMUNICATION PLAN TO ADDRESS ISSUES OR CONCERNS OF COMMUNITY
- DOWNTOWN LETHBRIDGE BRZ DOES NOT SUPPORT THIS PROJECT (OVER 500 BUSINESSES)
- PROJECT DOES NOT ADHERE TO HEART OF THE CITY MASTER PLAN THAT "DOWNTOWN SHOULD BE A VIBRANT, SAFE AND WELCOMING ENVIRONMENT TO LIVE, WORK AND PLAY"
- NOTICE IN WRITING OF MIRC MEETING WAS NOT RECEIVED BY SEVERAL BUSINESSES WITHIN 60M OF PROJECT
- PROJECT DOES NOT PROVIDE ADEQUATE PARKING FOR RESIDENTS AND STAFF WHICH AFFECTS NEIGHBORING BUSINESSES ADVERSELY

(Attach a separate page if required)

This Personal information is collected under the authority of the Freedom of Information and protection of Privacy Act, Section 33(c) and the Municipal Government Act, Sections 6788 and 685 Note **This information will form part of a file available to the public**, if you have any questions regarding the collection of this information, contact the FOIP Coordinator at (403) 329-7329

Signature of Appellant <i>Brad Paustein</i>		Date 2021 07 13	
FOR OFFICE USE ONLY			
Final Date of Appeal YYYY MM DD	Appeal Number	Hearing Date YYYY MM DD	Date Appellant Notified YYYY MM DD

Members of the City of Lethbridge Subdivision & Development Appeal Board,

RE: Notice of Hearing with the Subdivision and Development Appeal Board on 108 8 St. S

Thank you in advance for taking the time to read my submission for my concern regarding the proposed development at 108 - 8 Street South.

My name is Brad Plaustainer. I am the current owner and operator of LA Home Solutions and Riverpark Homes located at 104 8th Street South located next to the proposed project at 108 8th St S.

I am submitting this letter to let it be known to this Board and its members that throughout this entire process I have never received notification of any of these hearings. I did not receive a notice of the original MPC meeting in August 2021 and as of this writing, I have yet to receive notice of this appeal hearing either. If it wasn't for Mr. Alexander forwarding an email from Mr. Sarsfield after trying to file his own appeal from the August MPC meeting, I would have missed this hearing and never even had a chance to be heard by this Board. If it also wasn't for a phone call also from Mr. Alexander on or around August 19th, I would not have known anything about the original MPC meeting on August 23rd.

Why is it ok that I was not given written notice of the original MCP hearing? Why is it ok that I was not given written notice of this appeal board hearing (not received as of September 14th 2021)? This is not ok. This cannot be overlooked or dismissed. I believe I have a right to be heard. Where is MY due process? There is a reason that these bylaws are in place, and it is an integral part of the process. When this process is broken there must be consequences.

In light of this, I feel the development permit for 108 8th Street S. should be revoked immediately and entirely by The SDAB for lack of due process.

Thank you,

Brad Plaustainer
LA Home Solutions
Riverpark Homes

Members of the City of Lethbridge Subdivision & Development Appeal Board,

Thank you in advance for taking the time to read my submission regarding the proposed development at 108 - 8 Street South.

I wish for it to be known to this Board and its members that I filed my own appeal on behalf of the “defendants” (not the applicants) on the 21st day after the MPC meeting on August 23, 2021 (on September 13th). We have been made aware that the Applicants (Alvin Reinhard Fritz Architect Inc.) have also filed an appeal and were told to show up at the hearing on September 16th to have our say. But that is THEIR appeal. Their appeal is to get their plan reinstated to the 24 residents they applied for instead of the 18 residents they were approved for by the MPC at the meeting. If we are successful in my filed appeal, the project would be rejected all together (zero beds), as it was in January 2021. We wish to give this Appeal Board the option to reject this project all together, and as affected neighbors within 60 meters of this project, we wish to exercise our right to present our case to the SDAB separately from the applicants appeal.

To be clear...Alvin Reinhard Fritz Architect Inc. and ourselves as neighbors have separate opinions of this project:

- a. they want this project bigger than the MPC approval, we want the project rejected all together;
- b. they are appealing the “Conditions of Approval”, we want to appeal the “Approval”...different check boxes on the form, different appeal;

Therefore, we believe a separate hearing is warranted for this to be presented to the Appeal Board justly as these are two separate issues.

Up to this point we have been DENIED this right, and a hearing on the Applicants Appeal ONLY (“conditions of approval” of 18 beds instead of 24 beds they requested) has been set for September 16th. We understand we can sit in this hearing but we wish to present our case for repeal of the entire approval. Furthermore, we do not understand how a hearing can be had only 3 days after the deadline for Appeal submissions.

We deserve to be heard and due process to play out. We deserve the right to have the Appeal Board hear OUR reasons for appeal and the project rejected entirely (as it was in January 2021) for the reasons outlined on OUR Appeal Notice (attached).

If this can be accomplished in the hearing of September 16th 2021, then so be it...we will deal with that. But as I write this today on September 14th, we think this is unfair to have a hearing only 3 days after our appeal, which was scheduled before our appeal was filed (and before the Appeal deadline) and do not have ANY clarity as to whether or not our appeal to reject this project all together will be heard at all.

We hope you understand our position and frustration with the unclarity of this matter.

Brad Plausteiner
LA Home Solutions
Riverpark Homes

Members of the City of Lethbridge Subdivision & Development Appeal Board,

Thank you in advance for taking the time to read my submission for our concerns regarding the proposed development at 108 - 8 Street South.

I am writing on behalf of my two businesses LA Home Solutions and Riverpark Homes, which are located immediately next door to the proposed building at 104 – 8th Street South. We have been located here since 2013, but I have had a business in this building and a neighbor to Streets Alive for over 15 years now.

I have several concerns that I want to express with this project. One of my biggest concerns with this development is the affects to my wife who works at LA Home Solutions and Riverpark Homes with me, and our female staff, both of which are at times left to manage our retail store front on their own during the day. Organizations and places that house offenders make our female staff very nervous. They do not feel comfortable and safe in their own work environment. I think myself and men in general take for granted our comfort level as we walk the streets or sit in a storefront by ourselves. We never have the same feelings of angst as females do. I implore anyone to follow my wife and my staff out to their vehicles as they quickly shuffle, check corners, and verify nobody is coming when they just want to go for lunch, to an appointment or go home. I ask anyone to sit at our front desk watching to see who might be coming to the door, maybe having to run and lock doors before someone can get in. Is this what they deserve? As a male business owner I need to stand up for their concerns, as they are real and not always articulated by women. To me it is a nuisance, to women this a threat. I have learned this over the years. Having an organization next to us with proven offenders is not suitable for our workplace or any female friendly environment.

For example, our female staff have had issues with men blocking them from getting into their car (until they give them their phone number), being approached awkwardly or unexpectedly from behind in our parking lot and general harassment while moving in and out of our building. The Streets Alive organization has never once addressed our concerns when they have been expressed in writing. The proof is in the pudding, and they have had 15 years to prove they can handle being a good neighbor and they have failed miserably. So now when Streets Alive comes across free money to fund a multi-million dollar building, they say all the “right things” to boards like this to get approval, but have never earned their stripes with us, the neighbors and in my opinion, have no intention of doing so.

The most recent issue is the disposal of smoking materials. Their tenants use our parking lot to stand in to smoke, which is a bit of an issue, but they just throw their discarded smoking material into our driveway and in front of our back door. We then track some of these cigarette butts and smoking materials unknowingly on our shoes into our store and into our office, and then we have to deal with it. This is unacceptable, and even more unacceptable when dealing with health concerns such as COVID-19. When this letter was written in the spring of 2020, we did not know how COVID-19 was spreading, and discarded smoking materials being tracked in to our store was stressful. The simple courtesy of properly disposing their smoking materials could not be accomplished even after being contacted in writing and asked to do so.

It should also be known to this board as further example to the disregard of our issues, that after their previous application was turned down in January this year, instead of expressing an understanding of our stance and situation and a willingness/offer to work with us going forward, Mr. Kissick approached my father Bruce and Mr. Darrel Alexander (owner of the building on the other side of 108) in the foyer of city hall right after the meeting and threatened them. Mr. Kissick essentially attempted to blackmail and bully us into going along with his plan with the threat of a bigger building, more beds and less cooperation every time we oppose his project... "you don't like this project, you'll like the next one even less!" were his words. This is simply outrageous. Is this a person who is concerned for his neighbors or the potential impact his facility has and will have on the lives of the business owner's and staff that surround it? Absolutely not. This is someone out for himself. For 15 plus years Mr. Kissick has not cared about our concerns or our businesses, and that will continue. This despicable act following the Appeal Board meeting in January is all the evidence anyone needs if they think otherwise. Nobody should stand for that.

The Heart of the City Master plan states: Downtown should be a vibrant, safe and welcoming environment to live, work and play. I believe every business in the downtown should abide by this motto and be held up to the high standard this motto implies, regardless of their business type. Downtown should feel like a community. Businesses should be promoting each other, advertising for each other, and referring people to each other.... not threatening each other in the foyer of city hall when they don't get their way.

Streets Alive has demonstrated over the years that it does not care about being part of this downtown community, to abiding by Heart of the City motto or being a team player. When a business does not care about our community or this motto, they should be the ones who feel like the outsider, not people like my wife who is trying to live out her dreams and earn an honest living without being accosted, attacked and scared in and around our building. If you have no interest in the betterment of the downtown at large, then you shouldn't be in our downtown.

This proposal does not have an adequate safety / security plan for the surrounding community, the businesses around the site, the women who work in the downtown or even their own staff who may encounter an incident. To make matters worse, they do not even have a tangible or actionable communication plan for the surrounding community or businesses to report concerns or actual incidents to anyone in management of Streets Alive or this facility, nor do they outline or have a proper policy as to how they will handle these concerns or any actual incidents. Every organization who has any risk to their own staff or the community at large has one of these...why doesn't this organization?

Boards like you are constantly being told by Mr. Kissick that our complaints are probably not people from Streets Alive, that there are many people out there who can do these things. While this is obviously true in some circumstances, let me assure this Board that I know the difference between who is coming from Streets alive and who is not. I do not write Streets Alive for every window that is broken or comment that is made or mess that is not cleaned up. I know when it is not Streets Alive or at least when it is unknown. I would never assume every incident is Streets Alive alone, but I do know most of the time when it is.

We, along with the BRZ, who represents over 500 businesses downtown, and the many businesses and individuals who signed our petition/survey not in favor of this development, do not believe this facility belongs in the Heart of the City. This facility can go almost anywhere...we can't.

As a small business in Lethbridge, we are very limited to where we can put our retail locations for either cost reasons or traffic flow / accessibility reasons. The downtown is our best option. The impact Streets Alive has on my business is *substantial*, much more than the impact my business has on them. Sad to say, for 15 years the impact has all been negative. What good is their organization if they are helping some people's lives, but destroying other people's lives as a "cost of doing business"? That is not a net gain to society.

Our safety, our livelihood and our lives matter too.

Over the past 15 years of being my neighbor, the Streets Alive organization has not earned their stripes so-to-speak to get my support and feel safe with this management team in a downtown setting. Their promise to do better has not happened, not even in the 9 months since their last application and hearings. It's all just empty promises to get what they want, in this case to get free government funding, not to contribute to the betterment of downtown or address the safety and concerns of their neighbors. Furthermore, we will not be intimidated or bullied into approving this plan or walking away from our opposition. Mr. Kissick has lied in front of the MPAC about who supports their project, their success rate as a program, their communication history with neighbors, and attempted to soil our names and reputation as business owners by expressing "only the Plausteiners oppose to this project" publicly, which you will see in our submissions is completely not true. I find this insulting and take it personally. It is frustrating to deal with the lies and misinformation spewed by Mr. Kissick to boards like the MPC and The SDAB over and over. It's exhausting. They make it up as they go, and I do not believe they actually know their stats, objectives or policies. If they do, show us don't just tell us.

Streets Alive has not laid the proper groundwork to their own business or developed the proper relationships with neighboring businesses over the years to deserve support from us or from the downtown in general. They even had the last 9 months to improve upon their previous plan/submission and show us they are serious about safety, security, communication and our concerns in general. They have essentially changed nothing. They have ignored us. It's perplexing. In fact, I would even say it's gotten worse.

We take this proposal seriously. We are not asking you to make a decision as to the need of these types of organizations as a whole or even the general concept of this facility...I think we all can understand the need some people need for places like this. But we are asking you to share our vision of the little quadrant we call downtown Lethbridge, our vision of what the Heart of The City should be...a vibrant, safe and welcoming environment to live, work and play. We all need to buy in. This is our future as well. Our lives, our safety and our livelihoods matter too.

So we ask this Board to respect our lives, livelihood, our right to safety at work (particularly for the women of downtown), and our right to earn an honest living and to once again not approve this project for development.

Thank you again for your time and consideration.

Brad Plaustainer
LA Home Solutions
Owner

Members of the Subdivision and Development Appeal Board,

RE: Notice of Hearing with the Subdivision and Development Appeal Board on 108 8 St. S

My name is Dean Plaustein. I am the current owner and operator of Professional Optical located at 808 1st Ave S and the rental tenant of 103 8th Street S; both of which are located adjacent to the proposed project in question at 108 8 St S.

First off, I would like to ask the question, how did we even get to this point? Throughout this entire process I have never once received notification of any of the hearings. If it wasn't for Mr. Alexander forwarding an email from Mr. Sarsfield after trying to file his own appeal, I would have never even had a chance to be heard. I believe I have a right to be heard. Where is the due process? Where is my notification letter? Why is it ok that I was not given notice of the original MCP hearing nor, as of this writing, have I not been given notice of this hearing? It's not ok. There is a reason that these bylaws are in place, it is an integral part of the process. It is because of this fact I feel our appeal should be granted and the development permit be revoked.

I will do my best to assemble a submission.

Thank you for your time,

Dean Plaustein

Members of the Subdivision and Development Appeal Board,

Thank you in advance for taking the time to read my submission regarding my concerns over the proposed development at 108 8th Street S.

My name is Dean Plaustein. I am the current owner and operator of Professional Optical located at 808 1st Ave S and the rental tenant of 103 8th Street S; both of which are located adjacent to the proposed project in question.

Safety and Security Concerns

I am writing today to help give a voice to my business partner and wife Tina who carries a stun baton to her vehicle at night. My wonderful female co-workers, who duck under the front desk, as one of the men from that facility walk by, stop, and stare into the window for an uncomfortably long period time, almost every day, for 2 years. I am also writing on behalf of the all the woman who work in our neighbourhood, who are tired of being scared every day at work, who have expressed as much by signing our letters of support. I am writing on behalf of myself, who has spent my entire life in downtown, but now I am tired, feel beaten down, and unheard namely by the applicant, the city, this project, and this entire process.

And finally, I am writing on behalf of men from that facility, like my patient and friend David Spruyt, an indigenous street kid – who used that facility on and off and had been coming to Professional Optical for years – but eventually found crystal meth right outside his door, which ultimately lead him inside Professional Optical threatening to kill everyone in our store including himself. Thankfully the police came, but we never saw him again after that day. I asked around but nobody seems to know where he is. Sadly, I'm assuming he's dead. Did the location of that facility play a role in his story? I think it did. Either way, his story matters – and he matters.

In the past hearings Mr Kissick would claim "it wasn't his guys", but let me assure you, after 15 years of being his neighbours, we know the difference of someone on the streets and someone from his facility.

Our employees have, on numerous occasions, express their growing fear of working downtown. Currently, I do not offer any late hours due to our staff expressing their reluctance to be in Downtown Lethbridge after dark. They fear this project will only make things worse. Everyone on staff has a story to tell about a recent encounter that waivers their commitment to downtown and our business. These sentiments have been expressed as well by our clients time after time. As an employer and someone who has spent the past 25 years serving our clients in Downtown Lethbridge, I feel I need to share their reality to you and we both need to empathize with their feelings with action. I have reduced their risk by reducing my hours and not allowing anyone to work alone – this is costly to our business but a sacrifice I am willing to make to ensure their safety and their comfort. Over this entire process, however, Mr Kissick has never once offered any sort of acknowledgement of their fears or any sort of resolution. Security cameras are not enough, this is an urban walking centre and a facility like this would at a minimum require on-site security patrols for the woman in the neighbourhood and the patrons within the facility itself – OR – even better is to move the facility outside of the business district entirely.

Lack of Accountability to the Neighbourhood and the Development Permit

When it comes to Mr Kissick, Street Alive, the proposed development, and its location, I have a lot of questions.

For example, what is the success rate at the existing facility at its current location? When Mr Kissick was asked that question at the first MCP meeting he did not know, at the second he said 15%, however his website says 2/3. Which one is it? Seems to me, with all the confusion that success rate does not matter to them.

At the same MCP meeting he didn't know how many men go through there in a year, he didn't even know how many men were in the facility that day, and his answer is that he is not a part of the day-to-day. There is many organization owners who are not a part of the day-to-day, but still demand to know how well they are doing. I would say most would.

So, who responsibility is it to know the day-to-day? As a neighbour, I would like to know who is accountable and who I can talk to when problems occur. After 15 years we have never met anyone, not even Mr Kissick himself, even during these hearings. Although, Mr Kissick has the audacity to claim we are the problem? Clearly, after 15 years of being a neighbour without even the courtesy of an introduction, we are not the problem here.

When you actually get down to it, and if you think about it, there is no true accountability on them to prove that his facility even works downtown. What if the success rate was 5%? Would it matter to anyone? What would happen to our neighbourhood? Would they close? Can we do anything about it? The answer is NO.

It begs the question, when one of these cases is not successful, will it have dire consequences involving someone you love, like your daughter, your wife, your best friend? I, personally, don't want to find out.

Furthermore, they proposed a retail storefront on the main level. How is this enforced? If they decide to make it apart of their facility, who's going to stop them? They make it sounds like it will be a retail store that will contribute to the neighbourhood, what if they change their minds? Can we stop them? The answer is NO.

Following down this rabbit hole a bit further, 18 offenders in downtown is already too many, but what if they decide to add apply for more in a year, then more? Who is monitoring this? Who can stop this? Can we stop it? The answer is NO.

It just seems as though, we are providing immense amount of trust to their organization and Mr Kissick, especially when you consider the process so far, where it has been proven they are willing to say near anything to get this project off the ground and have shown that they don't want to be accountable to anyone.

Lack of Actionable Accountability within the Communication Plan

As for the new Communication Plan, I beg you to please see through the rhetoric. This plan is solely an illusion to give the sense of false security. There is no actual accountability. Who are they accountable to? It says, that the BRZ may request a copy of the communication log. However, the BRZ does not support this development (letter provided), and after our meeting they expressed that they have no intension of policing the grievances logged against that facility. So, untimely, all Streets Alive has created is a plan to police themselves.

Furthermore, what does a resolution look like within the Communication Plan? We have no idea! What if the resolution to the problem is simply to do nothing at all? Is there anything we can do about it? The answer is NO. For all we know, resolutions are exactly that – to do nothing - as this has been our experience dealing with them for the past 15 years.

Unless someone is holding them accountable, and resolution steps are required, with consequences if they don't – the communication plan is no benefit to the neighbourhood at all. The Communication Plan is more smoke and mirrors.

But even if the communication plan was a good one, what if this facility proves to be a big mistake? For instances, retail store gone, offenders inside triple, organization succession goes even worse and even less accountability within the organization. We can't just shut it down and go back to square one. It will have lasting consequences. Is there anything we can do? The answer is NO. Have we not learn anything with what happened at the SCS only a block away? We need more accountability from these organizations, checks and balances, with a clear communication plan with consequences.

The Community Wellbeing and Safety Strategy (CWSS)

The Community Wellbeing and Safety Strategy (CWSS) taskforce was formed in 2019 as part of a five-year plan to improve the wellbeing and safety of the community. This taskforce was formed primarily to integrate social services into the community and focus on public safety concerns. Its goal is to figure out where to place services like the one within the proposed project to achieve the best results. Their work is not complete and therefore it is too early to approve this project, until such time as this taskforce has completed their objective.

Recently, we've had people from the newly formed CWSS taskforce, which Mr Kissick is a part of, telling us that they know and Streets Alive themselves know this location is not ideal, but it was easier to get funding for an existing property, so they are pursuing that site anyway.

So, why are they rushing a decision now when the taskforce has just been formed for this exact reason? Is it because this location is all about access to the grant money and their looming deadlines? Yes, of course. If I have learned one thing going through this, is that due process matters. It is due process that makes for better decision. Why are we not letting this taskforce do its job before deciding a course of action?

Municipal Housing Report

As a health care professional, I lead with empathy and compassion – so I understand the reasons our city needs to provide supportive or transitional housing. Within the Municipal Housing Strategy, it declares the Housing situation in Lethbridge. While this report does identify a potential risk that there may be a need for more transitional and supportive housing in Lethbridge, the type of transitional housing it suggests does not fall in the scope of this facility. Nowhere in this document does it claim that a need for more transitional housing to help, how Mr Kissick himself described as, “integrating those who are lower classified offenders from the judicial system into society”. Furthermore, of which these offenders are being brought into Lethbridge from the sounding area, i.e. Medicine Hat to Crowsnest Pass. This description was given by Mr Kissick himself at a BRZ meeting last month (the minutes from that meeting with the description provided).

Therefore, the facility is not operating to help our citizens in need. This is clearly a tactic to blanket his facility under a classification so that a genuine need for transitional or supportive housing sounds like a need for his facility. It is not! Downtown should be a place with diverse either permanent, transitional and supportive housing opportunities that are available for everyone, which includes women, families, the disabled and the elderly; exactly where the needs are suggested within the Municipal Housing Report.

Location Accessibility and Recovery

Streets Alive will tell you about the essential services offered in downtown. Which ones exactly? They make it sound like downtown is the only place for “these” services. But there are no grocery stores downtown, and no entry level jobs for men around them, a pharmacy that is 10-minute walk through a violent and drug infested downtown, same with a clinic.

They could try walking the 18-minute (estimated by Google) to Save-on foods for groceries. That makes a 36-minute walk there and back in the dead of winter.

If I had someone in my life that needed their facility, I would want them to be over there by Save-On in the first place, where there are actual essential services like a pharmacy, a clinic, and job opportunities, instead of downtown where violence is increasing, drugs are rampant, and temptations on every block – so that they have the best opportunity for success.

Downtown Revitalization

When it comes to Downtown Lethbridge, I believe it is the job of the MCP, the Planning Commission, and City Council to make decisions that have a positive impact on the downtown perception, while giving tools and opportunity to its citizens to live, enjoy and succeed in downtown. This project does not benefit the downtown, it does not contribute to changing the narrative and does not have a positive impact on living or doing business in Downtown Lethbridge. Now it’s up to you at the SDAB to make it right!

Currently, we have developed a complementary network of businesses long our street. Clients from our businesses usually support more than one business within the area, with a significant number coming off the adjacent highway from our rural communities to do so. It has taken years to achieve a level of confidence within our clients, however, this confidence has wavered with recent downtown events. This project may be exactly what deters them for good in the future. What our street needs are more service-based businesses and retailers that complement our existing businesses. Please help us by instead choosing to add impactful businesses to our area that will complement our street and contributes to changing the current perception of Downtown Lethbridge.

People of Courage, People of Vision

When it comes to Downtown Lethbridge every business count, every space is meaningful, every street has an impact, and in some cases the building itself has historical significance. Perhaps this is the case for the existing building slated to be demolished into a parking lot with this project. I would suggest that perhaps we don’t give up that easily. It may be a site for sore eyes now, but that is solely due to the laziness and neglect by the landlord for the past 15 years who chose to do nothing to his property.

Furthermore, it would seem as if late City Council would agree that historic buildings have value; as we saw with the recent Bentley Building demolition decision, which was voted down 6 – 2. To quote, “These buildings can be saved if the will is there,” Crowson stated. “You want to promote local ownership and local economic development? Save your historic buildings. You want to help business start-ups and help young local entrepreneurs? Save your historic buildings. Anyone who works in the heritage field knows that established businesses can do just fine in a new building. But when you watch a new business; you watch how they gravitate to those historic buildings, and there is a reason for that. Young entrepreneurs, young start-up businesses use historic buildings. You want to support the trades? Save historic buildings, because the work that goes into them will be done by our local trades. You want to keep the young people from the university and college here? Save historic buildings.

“The return on investment from these buildings far outweighs most things we have,” she emphasized. “I am asking my colleagues to be people of courage, people of vision. Because we know saving this building is a matter of money, but we know this building can be saved.”

Coun. Joe Mauro also spoke up in support of Crowson’s position.

“I was just going to say throughout this term a lot of times Coun. Crowson and I have been on opposite ends,” he stated, “but I might say thank you for saying what you did today because I totally believe what you said, and I support what you said, and I totally agree 100 per cent with your comments.”

Might I remind you of another example that is only a few blocks away, the Oliver Block is a fine example of restoration done properly, by a truly inspired downtown business owner, Hunter Heggie. To quote Hunter, “It was in incredible disrepair at the time. Vacant, full of pigeon feces and water and falling down rotting walls,” Heggie said. “And we’ve brought it back to being a full building, full of tenants and a very vibrant part of our downtown.” Today, the Oliver Block plays host to a candy store, yoga studio, marketing agency and juice bar, among other businesses.

These like-minded people of courage, people of vision are showing us all that community thinking and hard work brings prosperity and opportunity to everyone and gives back to the community 10-fold. This is the sort of courage and vision we are so desperately hoping from you.

Downtown has changed. We must be Community Thinking

We need to face reality that life in downtown is just different now. We never would have expected this type of violence downtown, we would have never guessed we would have an alleged sex trafficking ring in Lethbridge either. If those men go to prison and get out, do I have to look forward to those men being housed beside my business, surrounded by our neighbourhood of women?

The crimes are more violent, the criminals are more violent - this is just reality now. And that’s what makes this location for this project truly troubling.

This problem and its solution is just bigger and more complicated than just involving the people in this room. There are lives at stake. That’s why the CWSS taskforce was formed.

As a community we need to do better.

We need to protect the vulnerable from violence and the accessibility to drugs.

We need to provide a safe community to live, play and grow... for everyone.

We need to hold people in certain positions more accountable to all of us. We need to look out for each other.

We just need to do better... and placing 18, 24, or even 2 convicts in downtown Lethbridge where violence is increasing, with women who are scared, and drugs that are rampant because it makes grant money more accessible... just isn't doing that.

ALL IT TAKES IS ONE INCIDENT... FOR ALL OF US TO WISH WE DID MORE WHEN WE HAD THE CHANCE.

WE DON'T WANT TO BE LOOKING BACK ON THIS DECISION WITH REGRET AND THINK... ALL WE HAD TO DO IS SAY "NO".

Please be a part of our perception change of downtown. Please support community thinking, and downtown living. Be People of Courage, People of Vision by supporting our appeal and deny this development.

Thank you so much for your time as this was a very lengthy submission.

Respectfully Submitted,
Dean Plaustainer
PROFESSIONAL OPTICAL



**DOWNTOWN LETHBRIDGE BRZ
MEETING OF THE BOARD OF DIRECTORS
Meeting Minutes Date: Thursday, August 19, 2021
Location: O2 Training Centre, 333 6 St. South Lethbridge Time: 7:00 a.m.**

PRESENT:

Chair – Justin Tavernini
 Treasurer – Cara Draffin
 Director – Sheri Kain
 Director- Steven Foord
 Director – Kendal Hachkowski (Via Speakerphone)
 Director- Kim Overes
 Director – Scott Warris
 Director – Dean Wilson
 Interim Executive Director - Melissa Johnson

ABSENT:

Vice-chair – Lance Gilchrist

GUESTS:

Downtown Policing Unit Sergeant Williamson
 Ken Kissick, Co-Founder of Streets Alive Mission

1). Call to order 7:05 am

2). Approval of consent agenda

Motion: Approval of consent agenda

Carried: Foord/Draffin

3) Downtown Policing Unit Update - Sgt. Williamson

Sgt. Williamson introduced himself to the board as he had not had the opportunity to meet everyone on the board. He explained his absence to the board and updated Since the last update from DPU they are running 5 people which means they are down 3 people from his unity and down 3 members from the CPO program as there is suppose to be 15 helping with the downtown beat. Currently, LPS is hiring more CPOs hoping to attain 2 more and there will be restructuring of the program to encourage the CPOs to be permanently employed. Sgt. Williamson is unsure when this will happen.

Chair Tavernini asked is the lower numbers due to the recent budget cuts? Sgt. Williamson said each department is feeling the cuts. He reported that PACT (Police and Crisis Team) will have an additional team added. This team includes one constable and one mental health therapist who go out to call that are mental health related. This therapist is provided by Alberta Health Services. This team is able to connect with chronic offenders and get them connected to the

Bylaw 4770-The purpose of the Board shall be to represent and administer the business of the Association in the in the development of the Downtown Business Revitalization Zone.



mental health services they need and these particular offenders are being seen less and less by LPS. There has been some challenges with loitering and the DPU as this is part of their beat are working towards a short-term and long-term solutions. If people are sleeping in tents they can move them along, however with people sleeping on benches they cannot move them along. Director Warris asked if the homeless are not sleeping in the shelter, where are they sleeping? Sgt. Williamson explained that people are camping in the coulees, sleeping rough. LPS is encouraging ppl not to sleep out too far as it is difficult for LPS and Emergency Services to attend an overdose situation. LPS is working with the Standoff Shelter and DOT to transport people wanting to go home. The Standoff Shelter does not operate in the summer but will open again in the fall. This will hopefully divert 30-40% of Alpha House users back to Standoff where those who are struggling with addictions will have a better opportunity to get onto the road of recovery.

With the rash of break-ins that downtown businesses have been experiencing and with the DPS only on shift until 2 AM, the majority of the break-ins are happening during a time when there is no downtown coverage. There are monthly meetings with the supervisors of each division and the downtown has been identified as a hot zone and with in the upcoming weeks there will be a heavy presence of the police force.

Some courses of action that they have seen work well are warrant round ups that get those who need to be off the streets off the streets.

4) Neighbourhood Communication Plan 108 - 8th St. South - Ken Kissick, Co-Founder of Streets Alive Mission

Ken had asked to sit down and talk with our board about the Communication Plan with his proposed project for his Parkside Drive property. Streets Alive Mission has been in the downtown for over 30 years. Their programming has two demographics, one being homeless and the other being in recovery. They have tried to be good neighbours at both downtown locations by picking up garbage in the alleyways and putting in upwards to \$30,000 towards entrance improvements to discourage loitering in front of their operations.

This communication plan is for the recovery housing that has been in this location for over 20 years. Ken and his organization have purchased the empty lot beside their housing with the hope of some day building a property with the same initiatives, but bigger and would address the challenges that some of the neighbours have brought to the organizations attention. It would go from their current 18 beds to 24 beds and would still have the same philosophy for integrating those who are lower classified offenders from the judicial system into society.

This empty lot is a laneway for those who are using the shelter to enter into the downtown. This new build will also remove the smoking on the street level.

Ken explained that he works with LPS and the parole offices closely and the men who live in his facility are from Medicine Hat all the way to the Crowsnest Pass. 95% of the individuals in his housing have jobs.

The last time that Ken presented to the board they decided not to be in support of the project as it was transitional housing. Ken stated to the board that he isn't looking for their support that he is looking for the board to be neutral on the project. As a growing downtown we can expect to have challenges and more vulnerable people needing assistance. This project will remove a building that needs a facelift and bring money back into the local economy by way of a large construction project. The space will have retail downstairs and the housing upstairs which will hopefully increase property value for all in that area.

Bylaw 4770-The purpose of the Board shall be to represent and administer the business of the Association in the in the development of the Downtown Business Revitalization Zone.



The board thanked Ken for his time and that they will get back to him before the end of the week of what they have decided.

After Ken left the meeting, Director Foord asked who would be opposed to this idea and Chair Tavernini would like the opportunity to have the Plausteiner family have a chance to meet with the board. A zoom meeting for the following day will be set up.

5) Heart of Our City Update - Sherri Kain

As there are no summer meetings for the HOC, there are no reports to provide at this time. September will be the next HOC meeting.

6) Team Lethbridge - Justin Tavernini

The only board members available to attend the Team Lethbridge are Director Kain and Director Hachkowski and Melissa Johnson offered to attend as the BRZ representative.

MOTION: To have Director Kain, Director Hachkowski and Melissa Johnson represent the DBRZ at the November Team Lethbridge Trip and that \$200 per person per night be made available for each person attending.

CARRIED: Tavernini/Foord

7) DBIA Bylaw Updates & Internal Policy Updates - Kendal Hachkowski

This committee was initiated by the city to simplify and create a template for future BIAs. Currently, Bylaw 4770 has a little operation and establishing powers. The changes that have been presented to the board are 1) How we can operate the BRZ 2) nominated by taxpayers when they mean levy members 3) Having a minimum of 5 board members to a maximum of nine. 4) Term Limits - 2 years minimum to a maximum of 6 consecutive years. 5) Vacancies on the board. The way that the bylaw is written right now a special election would need to be conducted to fill the vacancies.

Kendal would like to provide the boards feedback at the next committee meeting on September 8th. As none of the board members had any feedback to provide and that they expressed that no changes were needed it was put to a vote to proceed with the changes.

Melissa will distribute the internal policy polices on hand that are listed in Section 6 "Internal Policy Suggestion List" for committee discussion.

MOTION: The board receives the DBIA bylaw update as information and highlights no concerns with next steps and highlighted changes.

CARRIED: Kain/Tavernini

8) Director Makalima's Resignation, Next Steps & Board Chair Departure Next Steps - Justin Tavernini

Chair Tavernini announced that his business is moving out of the downtown core and as such would mean that he can no longer be on the DBRZ board. After discussing time frames it was decided that Justin Tavernini will resign at the September 16, 2021 board meeting.

The board also discussed the vacant spot available on the board after Director Makalima's resignation in June. As the bylaw states that the minimum on the board would be 6 that they do not necessarily have to fill the spot as they would have to hold a special election in order to do so.

Bylaw 4770-The purpose of the Board shall be to represent and administer the business of the Association in the in the development of the Downtown Business Revitalization Zone.

DOWNTOWN

BUSINESS REVITALIZATION ZONE

309 – 6 Street South, Lethbridge, Alberta T1J 2C7

August 20, 2021

Ken Kissick

Re: Streets Alive 8th Street Proposal

Dear Mr. Kissick

On behalf of the Downtown Business Revitalization Zone (BRZ) Board of Directors and its more than 500 member businesses, I would like to thank you for taking the time to meet with us to discuss the proposed concept for the Streets Alive development on 8th Street in downtown Lethbridge.

The purpose of the BRZ board is to ensure the organization is supporting the commercial interests of membership through revitalization initiatives that include, but are not limited to, the improvement and beautification of downtown lands, buildings and structures.

The BRZ is supportive of the development of permanent and affordable housing in downtown Lethbridge. As this facility is to offer transitional housing that is not permanent, we are not able to support the proposed development of the Streets Alive 8th Street project.

Yours sincerely,



Justin Tavernini - Chair, Downtown BRZ

The VISION
Champion a vibrant and desirable downtown destination
where the greater community actively engages and shares our pride.

City Development Service

City Planning Commission

City Council,

My name is Tina Plausteiner. I am the current the General Manager of Professional Optical located at 808 1st Ave S, which is located across the street from the proposed development.

This letter is to express my views against the proposed development at 108 8th St S.

Prior to today I have not submitted a letter or appeared at City Hall with respect to this development project. This is because I have always found it a struggle as a woman in business feeling like I am being heard. In my experience, when it comes to these types of settings I am easily dismissed and overlooked, while the attention migrates to the louder individual (usually male) in the room whether they are making sense or not. As a result, in the past, regretfully, I adopted the narrative that my opinion does not matter so why say anything at all. However, when it comes to this development project, I will not stay silent. I may not have the confidence to stand up in front of you, but I do want to be heard!

Who am I? I am a proud, capable, independent, strong, professional, métis woman. I have worked hard in downtown Lethbridge since I was 17 to support myself. I started, with no previous experience, at Professional Optical in 2005. They gave me the job because of my willingness to work hard, be loyalty, and wanting to build something I could be proud of. I am writing this letter not only to represent myself, but I also represent all my female co-workers who are intimidated to stand up and say something, and I am giving a voice to my fellow female workers in the neighbourhood.

Surrounding the proposed site there is our Optical Dispensary, Hair Salon, Alberta Health Unit, LA Home Solutions – all of which are predominantly employed by women. It is for this reason I cannot support this development. Housing 24 males in an assisted living housing in the vicinity of so many women, especially when you consider the increase in violence and drugs in downtown seems unfathomable. Are we safe? How can we feel safe? Why are the needs of 24 previously convicted males being place above the safety and the needs of approximately 50 women? To put it bluntly, currently downtown Lethbridge does not feel safe for women. I ask that you consider what you can do to help us be and feel safer at work in downtown Lethbridge. One way is to not increase the presences of unknown transient males with a criminal and/or substance abuse past by voting against this development.

Here are the some changes we have made to our business procedures as a result of our female staff expressing concerns or my attempt to increase our safety:

- 1 – Reduce hours to maximize the number of employees on at one time
- 2 – Closed on weekends, again to maximize number of employees on at one time
- 3 – Must leave as a group – no leaving alone. During lunch hours announce departure.
- 4 – No more walking downtown, especially for bank deposits.
- 5 – Cash Deposit will be only performed by management
- 6 – Exit strategy in case of insistences of violence or intimidation on the sale floor

When it comes to my first-hand account dealing with Street Alive and director Ken Kissick over the past 16 years there is not much to say, except, that I have never met Mr Kissick, nor has anyone ever provided me as a General Manager or my staff any contact information to even seem like they have any concerns about our safety. It is because of this fact that we have never submitted any complaints to Streets Alive; instead, we simply contact the Police or wait in the building. Furthermore, I have never been instructed or told my staff to determine where the individual creating the issue is coming from, we just contact the police or wait inside the building until the incident is gone. As a result, Street Alive would have no record of our numerous complaints over the years, as they would be with the police department or unreported.

With that said, we had recently met 2 individuals from Streets Alive dropping off their Neighborhood Communication plan. Ironically, it was 2 females not just 1 by themselves in our neighbourhood. When discussing the Plan with my female colleagues we had 2 main questions:

- 1 - If Streets Alive had a history of good communication with their neighbours, why do they need this new plan?

2- Why is it part of the plan to provide our home address? This is another reason we do not feel safe and deters us from calling. Why do we need to say where we live if it is about where we work? How is that supposed to make us feel safe? It makes me wonder who makes these rules?

When irrational details like this are overlooked, it begs the question, who is this plan meant to appease, the approval commission or the people surrounding the development? Which also makes me wonder if we will even be heard?

Lastly, I ask that you consider this question before you make your decision for all of us women surrounding this development; what more needs to happen for the severity of this situation and the lack of feeling safe for women in downtown Lethbridge before we make a positive change? I hope your answer is nothing more needs to happen and you support women being and feeling safe at work in downtown Lethbridge by voting against the development of 108 8th St S.

Thank you for your time, I really appreciate being heard.

Tina Plaustainer
Professional Optical
General Manager

Members of Subdivision Development and Appeals Board,

Thank you for your time to read this submission regarding the proposed project at 108 8 St S. My name is Bruce Plaustainer, the landlord of the two buildings adjacent to the proposed development, 104 and 808. One houses LA Home Solutions and Riverpark Homes owned and operated by our son Brad and his wife Megan. The other building houses Professional Optical, which my wife and I started in 1974, 47 yrs ago, and now owned and operated by our son Dean and his wife Tina.

For the record, for the MPC hearing on August 23, 2021, myself as property owner, did not receive any notification from the city that this application was proceeding. Had it not been for Mr Alexander's call to me on August 17 to have a conversation we as adjacent business and property owners would not have known to attend. For this current appeal, I as landlord received documents in the mail September 13, 4 days prior to the appeal. We are being denied due process and should result in the immediate denial of this development application.

At the last hearing, the appeal board reversed approval of this proposal in January of this year. Upon conclusion of the hearing in January of this year Mr. Kissick chose to verbally assault Mr. Alexander and myself in the foyer of city hall. His anger and threatening manner was shocking. To quote "You think this is over, well it's not, I'll build a five-story facility and I will go straight to city council and get my approval. You don't like this proposal, you're going to like the next one a lot less." I bring this to your attention because it brings into question the agenda and motivation of Mr. Kissick. This is not a show of good faith, of wanting to be a good neighbour, being community minded, to be part of a solution or exemplify leadership for a strong and viable downtown core. Streets Alive can state promises and commitments on paper, as they have done in their handout folders, but actions speak louder than words. This was an appalling display of intimidation and bullying.

At the last MPC hearing on August 23rd, Mr. Kissick blatantly stated "the only people that don't approve of this proposal are the Plaustainers". That was a blatant lie to the MPC. I canvassed surrounding businesses on Tuesday September 14 for 3 hours and as of this writing received well in excess of 30 signatures totally opposing this project. Mr. Donny Lee from the adjacent Chinese restaurant, was extremely vocal in opposing this proposal even though Mr. Kissick stated to the MPC board, Mr. Lee was in favour. Larry Kundrik from Spic and Span Drycleaners whom Mr. Kissick stated was in favour, also opposes this project and numerous others whose signatures have been submitted to you, all oppose this proposal.

I have spent well over 50 years of my life building a business and building a reputation, in downtown Lethbridge, Brad and Dean Plaustainer have spent over 20 years each doing the same, and for Mr. Kissick to falsely state that the Plaustainers are the only ones who oppose this project, is not only a blatant lie but an attack on our family name and reputation. This is not right! This constitutes libel and should not go unanswered. We are in opposition of this proposal - that is all, which we have the right to be, and so do so many others based on the signatures - BUT we did not come here to have our name and reputation disparaged by a self-interest group who chooses to employ untruths to further their cause. This is a blatant show of disregard for businesses, families and their reputations, the same disregard they have shown, accosting us in the foyer of City Hall, addressing our concerns over the past 15 years as their neighbour; being ignored, not addressed, it's our problem - not theirs.

Furthermore, the BRZ does not support this project for downtown, their letter has been submitted, as they would only support permanent housing, which this is not. When the BRZ letter was referred to at the MPC hearing, Mr. Kissick then chose to state to the MPC board that they are permanent housing since some residents "don't have to leave" therefore the BRZ approves of this project. As you can see from the Municipal Housing Report, they are classified as transitional housing and therefore the length of stay is only 4 years. Therefore, you can't have it both ways, it's either permanent or its transitional supportive housing. If it is permanent housing, then there should be 1 parking stall per 35m² of space must be provided: totalling approximately 20 stalls as per city bylaw.

If it is transitional/supportive housing, there is still a significant need for parking. As it is proposed, with 18 potentially working residents, 3 staff, retail space with unknown number of staff, there is a potential to

have over 30 people within a three-story facility potentially all requiring parking. So why they are required to only provide 5 parking stalls plus 2 for small cars?

And yet when Professional Optical building was built, a 5000 sq foot building, we were required to provide 13 parking stalls for our retail location across the street from this project. 13 stalls with no residents. I believe the spirit of reducing parking restrictions for downtown was to not limit building development within the business district, not to avoid offering housing development a way to not provide essential amenities.

There just doesn't seem to be any check and balances within the project. Will the retail space be used for retail, or will it be utilized for other purposes? Once approval is granted, what happens six months, a year down the road, will more beds be added? Who is going to know or who is going to check? They have to answer only to themselves.

There is no accountability. As their Communication Plan suggest, they are only accountable to themselves, if they choose to do nothing, that is their call. If any resolution is needed it will be addressed by a pastor at an affiliated church. Are we serious here? A unqualified pastor will be in charge of reconciliation if needed and we're dealing with a rehabilitation of a criminal element, exposed to the public and especially the 50-60 female employees working in a 2 block radius?

We cannot support this project rather than support businesses that are desperate for help in our Downtown. Hundreds of downtown employees and owners are struggling. Have you been to these businesses, I have, and I have apologized for not frequenting their businesses more often, because they are suffering. Have you been to Mocha Cabana who have lost 90% of their business because Streets Alive is located next door? Has anyone witnessed the owner cry? I have. Breaks your heart, because it was seen fit to allow projects ill-suited for a business district to locate there. This example shows the devastating effects Streets Alive as a neighbour can have on businesses.

Downtown businesses are run by young entrepreneurs, families, and individuals with dreams and visions. Where is their voice, who will stand up for them? When will they be allowed to have a say in their future? They do not have the luxury of dipping into the government tax dollars for funding and grants to lean on, they try to remain viable by blood, sweat and tears, nurturing their clientele and by the mandate of the city and Planning Commissions to surround them with like-minded businesses, not halfway housing. It is high time for change, a time to listen to people, a time to approve projects that will benefit the tax paying people in the trenches, a time for appeal boards to repeal proposals that are detrimental to the downtown core, a time for self interest groups to locate their facilities appropriately because they have devastating effects on businesses around them as pointed out.

I implore the appeal board to repeal this proposal, downtown is suffering and has suffered enough.

Respectfully submitted
Bruce Plaustainer
LANDLORD 104 & 808.

September 14 , 2021

D'laney Weston

Chrome Salon + Spa
110, 8th St South
Lethbridge, T1J 2J3

Dear Lethbridge City Council,

We begin with sharing how much our team strongly disapproves of a building Project in prospects to be built right beside our small business. This letter is written on behalf of the Chrome Salon + Spa team, and includes our team's personal incidents, our clients' concerns, and team's concerns and issues of building this "community project".

Chrome is a female predominant business, with both clientele and staff, we are uncomfortable with building a men's project house beside us.

Uncomfortable and unsafe for these reasons:

- 1) Our team has had previous language directed towards them while walking from and towards their vehicles from Street Alive persons on their picnic tables which are located adjacent to our parking lot.

- 2) Numerous occasions we have seen streets alive persons smoking and lingering outside of their building at all hours of the day. This has made both our staff and our clients feel uncomfortable coming and going from our business. The safety of our staff and clients is a huge priority to us and we feel that this is a huge concern for our business prosperity in downtown Lethbridge. Chrome has had much litter to pick up from beside our building and back parking lot from Streets alive Persons.

We will finish with this :

Chrome Salon + Spa won New Business of the year award with the Chamber of Commerce in 2019. We won this because we showed Lethbridge we care. We too want to revitalize downtown. We are proud of our employees, we want to continue to help our economy and contribute with keeping locals employed.

In 2018 starting Chrome, as a female business owner I was excited to start a business downtown lethbridge. I too had felt the movement of this. Lethbridge wanted to clean up downtown, help people feel more comfortable to shop and have services downtown. We are very proud of how our business has helped with this movement. I'm confused as to how this project will help our business grow, or help our team and our clients feel safe. I'm confused how this will help revitalize downtown.

Chrome Salon + Spa Owner

D'laney Weston *D'laney Weston*

Tiffany Reamsbottom *Tiffany Reamsbottom*

Maddy Tremper *Maddy J*

Lili Atwood *Lili Atwood*

Lexi Witdouch *Lexi Witdouch*

Jennifer Brenaut *Jennifer Brenaut*

I am the current owner of the immediately adjacent building to the south 110 8 St S, O/A Chrome Salon & Spa

I would like to note this is the 6th time in 15 years, and the 4th time in 9 months, myself and the Plaustein family have been in front of MPC & SDAB to defend our properties and to stand up for the downtown. These constant defenses take tremendous resources from us as we are all very busy local businessmen.

I am writing in deep opposition to this project, with many concerns.

First of all a citizen, volunteer and big supporter of our downtown

In 2003 I was incoming President of the Rotary Club of Lethbridge. I was charged with the responsibility of developing a "Legacy Project", to celebrate Rotary & the Province of Alberta's 100th anniversary & the next year the City of Lethbridge's too.

Between 2003 & 2005 I worked in close consort with the City of Lethbridge to develop the Rotary Galt Gardens Water feature. We wanted to help take the downtown back from "problem" people.

I and our committee raised \$3.5Million to complete this project.

I was one of my proudest accomplishments.

Over the past few years I have seen our downtown slip tragically backward significantly.

I believe SDAB should strongly consider the impact to our fragile downtown, prior to allowing developments, that could worsen our situation.

Just because Streets Alive owns this empty lot, does not mean that is the best place for this facility.

Currently, for years I have noted many negatives of the presence of Streets Alive as a neighbor. The constant loitering, smoking, littering of butts, etc. I have taken many complaints from my tenants, who run a high end hair salon & spa, that their staff & clients are made to feel uncomfortable by these behaviors.

There over 100 young women working in very close proximity to this proposed transition home site, and placing 18-24 recently released from prison men, seems to me like a horrible idea. I think we would all feel terrible the day something negative happens. In addition I see no benefit to have these men downtown, to the downtown. Zero economic gain, zero vibrancy, + negative impact.

Perhaps the City of Lethbridge should look at purchasing back both Streets Alive locations and assisting them in locating to a far more advisable location. This would clean up the downtown immediately, and likely help Streets Alive with its long term goals.

We as citizens need to stand up and make GOOD decisions, to do everything possible to save our downtown, both for small businesses, & citizens wanting a safe downtown experience.

Darrell Alexander

Members of the Subdivision and Development Appeal Board,

Enclosed you will find signatures of support for our appeal to the development at 108 8 St S as of 10:00am on Wednesday, September 15, 2021, after only 3 hours of walking around the neighbourhood. We only wish more notification was given so that we may have been able to reach out to more neighbours – as it was a challenge to reach some of the management and ownership since they were closed or unavailable.

In previous hearings Mr Kissisk said that only “the Plausteiner” were against this project, but as you can clearly see that was not the case at all.

Currently, after 3 hours, we have a total of 39 signatures, 21 businesses and landowners within a 3-block radius; 9 of which are within the 60m radius. 27 of the signatures are from woman working in the neighbourhood who do not feel safe at work.

Even though these businesses and woman feel uncomfortable submitting or presenting to the SDAB directly, they want to be heard. We need to listen.

Currently we have the following businesses within the 60m who have shown to not supported this project.

1. Spic and Span Laundry, 112 8th St S – Larry Kundrik
2. Modern Chinese, 103 7th St S – Donnie Lee
3. Chrome Hair Salon, 110 8th St S - D’laney Weston et al
4. Leisters Home Care, 705 2nd Ave S – Sally Kesick
5. Building Owner, 701/703/705 2nd Ave South – Patricia Luu
6. LA Home Solutions, 104 8th St S – Brad and Megan Plausteiner
7. Professional Optical, 808 1st Ave S – Tina and Dean Plausteiner
8. Landlord, 110 8th St S - Darrell Alexander
9. Landlord, 808 & 104 – Bruce Plausteiner

3-block radius (most of which are within 100m) these businesses have shown not to support this project:

1. Petland, 212 – 905 1st Ave S – Phil Smiley
2. Bella Elite Beauty & Barber Academy, 311 8th St S
3. Hudsons Pub Lethbridge, 904 2nd Ave S, Jesse Dixon General Manager
4. Streetside Eatery, 317 8th St S, Steve Oseen
5. Sun Dental, 718 3rd Ave S – Leslie King et al
6. Stafford Dental, 821 3rd Ave S – Rajesh Grover et al
7. King of Trade, 317 5th St S - Hunter Heggie
8. O2 Training Centre, #110, 333 6th S, Future 110 10th S S – Justin Tavernini
9. Intrigue Lingerie Boutique, 313 7th St S, Colleen Armstrong
10. Chatters Hair Salon, Park Place Mall – Anthony Castillo
11. Park Place Mall Shopping Centre, 501 1st Ave S – Kevin Brees
12. Rons Appliance Service, 121 11th St S – Stephen Petersen

Enclosed is a copy of the package we presented to the businesses that included a copy of our appeal with an in-person form that could be filled out manually or a QR Code to fill out the form online.

Respectfully Submitted,

Dean Plausteiner
PROFESSIONAL OPTICAL

Re: Proposed development at 108 8 St S. Streets Alive

Streets Alive was approved by the Municipal Planning Commission on August 23, 2021, to build a three-storey building for the purpose of a supportive housing facility for recovery with 18 male offenders transitioning from the judicial system back into society (men only) on the second and third floors at 108 8th Street South.

Persons affected by this development have the right to appeal this decision to the Subdivision and Development Appeal Board via written, verbal and or visual submission.

Affected neighbours have decided to file the appeal.

We are looking for your support



QR SCAN OR CAMERA APP

Re: Proposed development at 108 8 St S. Streets Alive

Streets Alive was approved by the Municipal Planning Commission on August 23, 2021, to build a three-storey building for the purpose of a supportive housing facility for recovery with 18 male offenders transitioning from the judicial system back into society (men only) on the second and third floor at 108 8 St S.

Persons affected by this development have the right to appeal this decision to the Subdivision and Development Appeal Board via written, verbal and or visual submission.

Affected neighbours have decided to file the appeal for the following main reasons:

- 1) **No adequate safety or security plan** has been provided by Streets Alive for their building or the surrounding community, businesses, and particularly for the women in downtown.
- 2) **No actionable or accountable Communication Plan** has been provided for surrounding businesses to report to Streets Alive any problems, concerns or incidents which would provide surety that any complaints or concerns would be addressed in a timely and sufficient manner.
- 3) **The Downtown BRZ**, which represents over 500 businesses in the downtown core, **does not support this project.**
- 4) **This project does not adhere to the Guiding Principles of Heart of The City Master Plan** that the "Downtown should be a vibrant, safe and welcoming environment to live, work and play".
- 5) **This project does not provide adequate parking** for 18 residents plus staff, plus a retail storefront and their staff which will negatively affect business access for the surrounding businesses by taking up valuable street parking for their residents and staff.
- 6) **As a neighbour of Streets Alive for over 15 years, Streets Alive has never responded to or addressed any of the issues we have raised with them verbally or in writing over the years.**

As an affected neighbour, we are asking for your support in our appeal of this project.

If you support ANY of our concerns above, or ANY within our additional detailed information provided, or have ANY OTHER concerns about this project, we are asking for your support.

There are three ways you can help:

- 1 - Sign the documents below or online in support of our appeal.
- 2 - Submit written material to the Secretary of the SDAB David Sarsfield at David.sarsfield@lethbridge.ca before noon on Wednesday September 15th to be delivered to the Appeal Board for consideration at the appeal hearing.
- 3 - Make a verbal or visual submission at the actual hearing at Council Chambers, Main Floor, City Hall at 5:00pm on Thursday, September 16th.

We would sincerely appreciate any submission to the Appeal Board in support of our appeal. Additional information is included with this letter if you wish to have more detail our position.

Full Name _____ Date _____

Business Name _____

Business Address _____

Email or Phone# _____ Signature _____

Additional Information on the Position of the affected neighbors who have decided to file the appeal on the proposed project form Street Alive at 108 8 St S.

1. No Adequate Safety / Security Provided

The facility is surrounded by many establishments who many are employed by woman. We need to do better as a community by providing a safe environment for everyone to work, especially woman. Numerous women working in the Downtown have reported not feeling safe in Downtown Lethbridge and this facility as proposed does not make it safer Downtown. Security cameras are not enough. A safety and security plan must be in place, which should include a patrolling security guard and reducing the number of men within the facility. If not, it would be best to moving to a location away from our urban walking centre.

2. No actionable or accountable Communication Plan

The proposed Communication Plan does not hold Streets Alive accountable to anyone outside of their organization. It does not outline any resolution steps, or if any steps are required to be taken. If there is a complaint or something awful were to happen there is nothing to stop Streets Alive from doing nothing about it all. It has been the experience thus far that Streets Alive does not responded to or addressed any of the issues we have raised with them verbally or in writing in the previous 15 years.

3. The Downtown BRZ does not support this Project

As it stands, Mr Kissick has met with the Downtown BRZ on three occasions to gain support for this project. After extensive discussion and research, the BRZ maintains the stance to not support this project due to the supportive housing being transitional and does not offer any permanent housing that contributes to the downtown initiative. Please see attached letter from the Downtown BRZ.

4. Heat of our City Master Plan

The Heart of our City Master Plan was curated to set guidelines that help rebuild our Downtown. This project is in complete opposition of the Heart of Our City Master Plan, which states that Downtown should be animated and vibrant, entrepreneurial & supportive for businesses, inclusive and welcoming environment to live, work and play.

5. Inadequate Parking

The facility is calling for 18 people, facility staff and a retail storefront, while only providing 5 regular parking stalls and 2 small car stalls. When fully occupied the facility would have, at a minimum, over 22 people that would potentially need transportation and parking, as a result, it would seem 5 regular stalls and 2 small car stalls seems grossly inadequate and will result in the usage of our limited street parking.

6. This Project does not help our businesses or revitalize Downtown Lethbridge

As a community, we need to revitalize Downtown Lethbridge. We need to change the perspective of Downtown and bring people back to enjoy, eat, live, and shop. This project is not good for the families and businesses who rely on a vibrant downtown to survive.

7. The Municipal Housing Strategy does not suggest a need for this type of transitional housing

Within the Municipal Housing Strategy, it declares the Housing situation in Lethbridge. It identifies the trends and the upcoming needs. While this report does identify a potential risk that there may be a need for more transitional and supportive housing as housing costs increase in Lethbridge, the type of transitional housing it suggests does not fall in the scope of this facility. Nowhere in this document does it claim that a need for more transitional housing to help offenders from the judicial system back into society, furthermore, of which these offenders are being brought into Lethbridge from the sounding area, i.e. Medicine Hat to Crowsnest Pass. Therefore, the facility is not operating to be helping our citizens. Downtown should be a place with *diverse* either permanent and supportive housing opportunities that are available for everyone, which includes women, the disabled and the elderly.

8. We do not have the result from the CWSS task force

The Community Wellbeing and Safety Strategy (CWSS) taskforce was formed in 2019 as part of a five-year plan to improve the wellbeing and safety of the community. This taskforce was formed primarily to integrate social services into the community and focus on public safety concerns. Its goal is to figure out where to place services like the one within the proposed project to achieve the best results. Their work is not complete and therefore it is too early to approve this project, until such time as this taskforce has completed their objective.

9. Location does not give access to required essential services

The needs of the offenders transitioning from the judicial system back into society will be primarily employment and food, then secondarily some minor health services needs.

The demographic being served does not have many job opportunities around this location, when compared to other areas in the city.

The nearest grocery store is 18 km away which is a long journey without transportation in the winter when travelling both directions.

As a result, it would seem a better location should be determined to satisfy their requirements.

10. Location does not adequately support recovery

The facility would be Supportive Housing for recovering men recently released from incarceration. To ensure successful recovery, it would seem placing the facility within an area with a high amount of drug abuse and other temptations unreasonable and not in the best interest of the men they are trying to help.

DOWNTOWN

BUSINESS REVITALIZATION ZONE

309 – 6 Street South, Lethbridge, Alberta T1J 2C7

August 20, 2021

Ken Kissick

Re: Streets Alive 8th Street Proposal

Dear Mr. Kissick

On behalf of the Downtown Business Revitalization Zone (BRZ) Board of Directors and its more than 500 member businesses, I would like to thank you for taking the time to meet with us to discuss the proposed concept for the Streets Alive development on 8th Street in downtown Lethbridge.

The purpose of the BRZ board is to ensure the organization is supporting the commercial interests of membership through revitalization initiatives that include, but are not limited to, the improvement and beautification of downtown lands, buildings and structures.

The BRZ is supportive of the development of permanent and affordable housing in downtown Lethbridge. As this facility is to offer transitional housing that is not permanent, we are not able to support the proposed development of the Streets Alive 8th Street project.

Yours sincerely,



Justin Tavernini - Chair, Downtown BRZ

The VISION

Champion a vibrant and desirable downtown destination
where the greater community actively engages and shares our pride.



Neighborhood Communications Plan
Streets Alive Family Support Association
Exodus Supportive Recovery Housing
108-8th Street S Lethbridge, AB

What is Happening?

- For the past 22 years the facility located at 712-1st Ave S has housed a men's transitional recovery housing program. This is a residential facility offering program assistance to help up to 18 men recover and stabilize their lives to return them to independent living.
- A decision has been made by the Association to replace this facility with a new one to be located on the property at 108-8th Street S. A development application is being made to the City of Lethbridge which will approve and accomplish the following:
 - a) Combine the titles of 712-1st Ave S and 108-8th Street S into one title for 108-8th Street S.
 - b) Allow for the construction of a three-story structure that will house store front commercial space and programming space on the main floor and 24 beds of supportive recovery housing on the upper two floors
 - c) See the demolition of the old facility at 712-1st Ave S to allow for parking stalls for staff and commercial space occupants. Parking for residents under the new Supportive Housing use is not required.
- The facility will have staff on 24 hours a day.

Who are we?

Streets Alive Family Support Association

- Streets Alive Family Support Association is local nonprofit charity that was established in 1990 as a Christian Humanitarian Organization dedicated to providing for the physical, social, emotional and spiritual wants of those people lacking hope or in need in the Lethbridge area to empower them to change their lives through the Gospel of Jesus Christ.
- To accomplish our mandate our operations include in addition to the men's supportive recovery housing program: A women's supportive recovery housing unit, men's and women's recovery programs, mobile outreach; clothing, furniture and food distribution center, counseling and referral services; trustee services and a fellowship service. The main office of the Mission is located at 323-4th Street S., Lethbridge Alberta. Streets Alive Family Support Association conducts a yearly review of its operations – neighbor relations are one of the areas examined. We review the Neighborhood Communication Log and we review and up-date the Neighborhood Communication Plan.
- Streets Alive Family Support Association is governed by a Board of Directors, a list of which can be obtained from www.streetsalive.ca

Funding & Ownership

- The Exodus Supportive Recovery Housing Program is funded by program fees and private donations through the charity.
- The facilities are owned by Streets Alive Family Support Association.

Property maintenance

- Building maintenance is the responsibility of the property owner who has contracted Lethbridge Housing Authority to handle all maintenance after construction.

Maintaining Neighborhood Relations

- Streets Alive Family Support Association is committed to keeping communication lines with the neighborhood open. Annually senior administration staff of the Association will deliver a current Neighborhood Communication Plan relative to the Exodus Supportive Recovery Housing to all the businesses, or apartment building managers within a two-block radius of 108-8th Street S.
- Should some significant aspect of the Exodus Supportive Recovery Housing operation change in the course of an upcoming year (particularly, the contact names and numbers), neighbors who have received this Neighborhood Communication Plan will be notified of the changes by letter.
- Interested neighbors are welcome to contact Exodus Supportive Recovery Housing staff to arrange for a tour of the facilities and an explanation of the program and protocols.
- Please note the letter accompanying this plan. It asks if you have experienced any concerns with the Exodus Supportive Recovery Housing in the past year. If you have, please read the 'Responding to Complaints and Concerns' section below.

Responding to Complaints and Concerns

- If you experience a problem with the operation of the Exodus Supportive Recovery Housing located at 108-8th Street S. you may do any of the following:
 - a) Contact Exodus Supportive Recovery Housing staff at 403-320-1103 or attend the facility in person
 - b) Contact the Streets Alive Mission at 403-320-1159 or drop into the Mission at 323-4th Street S. to speak to a senior staff member
- The Exodus Supportive Recovery Housing and Streets Alive Mission staff are required to record your concern in the 'Neighborhood Communication Log' so they will take a little of your time to get the details. They will ask your name, address, and phone number and ask for a full description of what you have been experiencing. The action taken and resolution to the problem is also recorded in the logbook.
- The Neighborhood Communication Log is examined during the yearly operational review mentioned in 1(3) above as well as copies are made available to Downtown Lethbridge BRZ.
- If the solution to your problem is simple and under staff control, they may immediately implement the solution.
- If the problem is more complex, your concern will be relayed to the Streets Alive Family Support Association management team under the direction of Founders Pastors Julie and Ken Kissick. A member of the management team will try to reach you within 5 working days to discuss the circumstances with you. In case they are unable to, you may reach any member through the contact information found at www.streetsalive.ca. The management team will do their utmost to solve the problem to your satisfaction.

Resolving Disputes

- Please allow the management team adequate time to derive a solution. If, after 4 weeks from the time of your original complaint, that appears to be impossible, you may take your concern to the Board of Directors of Streets Alive Family Support Association. The Board will work to resolve the situation within 60 days. The Board contact is Chuck Leblanc, Chairman who can be reached at 403-715-1712 or chuck@streetsalive.ca
- Should you be dissatisfied with the outcome of the Board decision you may contact:

Pastor Craig Webber, President
 Lethbridge Evangelical Ministerial Association
 82002 Range Road 215
 Lethbridge, County, AB
 (403) 328-8915

Re: Proposed development at 108 8 St S. Streets Alive

Streets Alive was approved by the Municipal Planning Commission on August 23, 2021, to build a three-storey building for the purpose of a supportive housing facility for recovery with 18 male offenders transitioning from the judicial system back into society (men only) on the second and third floor at 108 8 St S.

Persons affected by this development have the right to appeal this decision to the Subdivision and Development Appeal Board via written, verbal and or visual submission.

Affected neighbours have decided to file the appeal for the following main reasons:

- 1) **No adequate safety or security plan** has been provided by Streets Alive for their building or the surrounding community, businesses, and particularly for the women in downtown.
- 2) **No actionable or accountable Communication Plan** has been provided for surrounding businesses to report to Streets Alive any problems, concerns or incidents which would provide surety that any complaints or concerns would be addressed in a timely and sufficient manner.
- 3) **The Downtown BRZ**, which represents over 500 businesses in the downtown core, **does not support this project.**
- 4) **This project does not adhere to the Guiding Principles of Heart of The City Master Plan** that the "Downtown should be a vibrant, safe and welcoming environment to live, work and play".
- 5) **This project does not provide adequate parking** for 18 residents plus staff, plus a retail storefront and their staff which will negatively affect business access for the surrounding businesses by taking up valuable street parking for their residents and staff.
- 6) **As a neighbour of Streets Alive for over 15 years, Streets Alive has never responded to or addressed any of the issues we have raised with them verbally or in writing over the years.**

As an affected neighbour, we are asking for your support in our appeal of this project.

If you support ANY of our concerns above, or ANY within our additional detailed information provided, or have ANY OTHER concerns about this project, we are asking for your support.

There are three ways you can help:

- 1 - Sign the documents below or online in support of our appeal.
- 2 - Submit written material to the Secretary of the SDAB David Sarsfield at David.sarsfield@lethbridge.ca before noon on Wednesday September 15th to be delivered to the Appeal Board for consideration at the appeal hearing.
- 3 - Make a verbal or visual submission at the actual hearing at Council Chambers, Main Floor, City Hall at 5:00pm on Thursday, September 16th.

We would sincerely appreciate any submission to the Appeal Board in support of our appeal. Additional information is included with this letter if you wish to have more detail our position.

Full Name DONNY LEE. Date Sept 14/21.
 Business Name MODERN CHINESE.
 Business Address 103 - 7 ST S0
 Email or Phone# 328.1212. Signature [Handwritten Signature]

If you have any questions, please feel free to contact us at 403.308.9805

Re: Proposed development at 108 8 St S. Streets Alive

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Full Name D'laney Weston Date Sept. 14 / 2021
Business Name Chrome Salon + Spa
Business Address 110 8th Street South
Email or Phone# chromesalonspa@outlook.com Signature D'laney Weston

If you have any questions, please feel free to contact us at 403.308.9805

Re: Proposed development at 108 8 St S. Streets Alive

Streets Alive was approved by the Municipal Planning Commission on August 23, 2021, to build a three-storey building for the purpose of a supportive housing facility for recovery with 18 male offenders transitioning from the judicial system back into society (men only) on the second and third floor at 108 8 St S.

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Full Name Sally Kesick Date Sept 14/21
 Business Name Leisters Home Care Co.
 Business Address 705-2 ave S
 Email or Phone# sally.kesick@leistershomecare.ca Signature SKesick
403-380-2600

If you have any questions, please feel free to contact us at 403.308.9805

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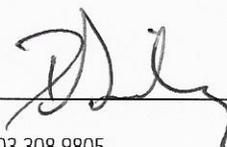
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Full Name PHIL Smiley Date SEPT 14 / 2021
 Business Name POSTLAND
 Business Address 212 - 905 1ST AVE S.
 Email or Phone# 403 - 308 - 2847 Signature 

If you have any questions, please feel free to contact us at 403.308.9805

Re: Proposed development at 108 8 St S. Streets Alive

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Full Name Kayla Reyes Date September 14 2021
 Business Name Bella Elite Beauty & Barber Academy Ltd.
 Business Address 311 8 Street South Lethbridge
 Email or Phone# info@bellaelitebeauty.com Signature Kayla Reyes
587-784-8076

If you have any questions, please feel free to contact us at 403.308.9805

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Full Name Jesse Dixon Date Sept 14, 2021

Business Name Hudsons Pub Lethbridge

Business Address 904 2nd Ave S-

Email or Phone# jesse.dixon@hudsonspub.com Signature 

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Full Name Larry Kundrik Date Sept 14 / 21
 Business Name Spica Span Dry Cleaners
 Business Address 112 8 St. S.
 Email or Phone# lkundrik@gmail.com Signature Larry Kundrik

Proposed Development At 108 8 St S Report

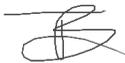
Form: Appeal to the proposed development at 108 8 St S. Streets Alive

Name	Megan, Plausteiner
Business Name (If Applicable)	LA Home Solutions
Business Location (If Applicable)	
Phone	
Email	
I do NOT support the proposed development of the property located at 108 8 St S	true
Signature	
Added Time	15-Sep-2021 00:45:26
Referrer Name	https://forms.zohopublic.com/littlebrowndog/form/ProposedDevelopmentat1088StS/thankyou/formperma/gb1EpZYWdwNiibjDz70q8gEYUH_2_Wmk8TDkCvD-m1Y
Task Owner	dean@lbd.co

Name	Brad, Plausteiner
Business Name (If Applicable)	LA Home Solutions
Business Location (If Applicable)	104 8th Street S
Phone	
Email	Office@lahomesolutions.ca
I do NOT support the proposed development of the property located at 108 8 St S	true
Signature	
Added Time	15-Sep-2021 00:44:05
Referrer Name	
Task Owner	dean@lbd.co

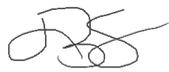
Name	Steve, Oseen
Business Name (If Applicable)	Streetside Eatery
Business Location (If Applicable)	317 8 St S
Phone	
Email	streetside@gmail.com
I do NOT support the proposed development of the property located at 108 8 St S	true
Signature	
Added Time	14-Sep-2021 21:52:55
Referrer Name	
Task Owner	dean@lbd.co

Name	Roxanne, Nikles
Business Name (If Applicable)	Sun Dental
Business Location (If Applicable)	718 3 Ave S
Phone	4033273410
Email	roxn@telus.net
I do NOT support the proposed development of the property located at 108 8 St S	true
Signature	
Added Time	14-Sep-2021 17:18:39
Referrer Name	
Task Owner	dean@lbd.co

Name	Tina, Plausteiner
Business Name (If Applicable)	Professional Optical
Business Location (If Applicable)	808 1 Ave South
Phone	5878001456
Email	tina@professionaloptycal.ca
I do NOT support the proposed development of the property located at 108 8 St S	true
Signature	
Added Time	14-Sep-2021 17:13:15
Referrer Name	
Task Owner	dean@lbd.co

Name	Taya, Bishop
Business Name (If Applicable)	Professional Optical
Business Location (If Applicable)	808 1 Ave S, Lethbridge, AB
Phone	4036829781
Email	Mistayabishop@gmail.com
I do NOT support the proposed development of the property located at 108 8 St S	true
Signature	
Added Time	14-Sep-2021 17:09:28
Referrer Name	
Task Owner	dean@lbd.co

Name	Stephen, Petersen
Business Name (If Applicable)	Rons Appliance Service
Business Location (If Applicable)	121 - 11 street so
Phone	4033280011
Email	Admin@ronsapplianceservice.ca
I do NOT support the proposed development of the property located at 108 8 St S	true
Signature	
Added Time	14-Sep-2021 17:03:31
Referrer Name	
Task Owner	dean@lbd.co

Name	Kevin, Brees
Business Name (If Applicable)	Park Place Shopping Centre
Business Location (If Applicable)	501 1st Avenue South
Phone	403-634-8422
Email	kbrees@primarisreit.com
I do NOT support the proposed development of the property located at 108 8 St S	true
Signature	
Added Time	14-Sep-2021 16:33:37
Referrer Name	
Task Owner	dean@lbd.co

Name	Justin, Tavernini
Business Name (If Applicable)	O2 Training Centre
Business Location (If Applicable)	#110 333 6th street south
Phone	4039290933
Email	justin@o2trainingcentre.com
I do NOT support the proposed development of the property located at 108 8 St S	true
Signature	
Added Time	14-Sep-2021 16:27:34
Referrer Name	
Task Owner	dean@lbd.co

Name	Mary, Hoyt
Business Name (If Applicable)	
Business Location (If Applicable)	
Phone	4038924160
Email	marykitt@hotmail.com
I do NOT support the proposed development of the property located at 108 8 St S	true
Signature	
Added Time	14-Sep-2021 16:27:13
Referrer Name	
Task Owner	dean@lbd.co

Name	Alex, Abelhans
Business Name (If Applicable)	
Business Location (If Applicable)	
Phone	
Email	alex.abelhans@yahoo.com
I do NOT support the proposed development of the property located at 108 8 St S	true
Signature	
Added Time	14-Sep-2021 16:10:45
Referrer Name	
Task Owner	dean@lbd.co

Name	Beverly, Nemeth
Business Name (If Applicable)	Stafford Family Dental
Business Location (If Applicable)	821-3 Ave South
Phone	
Email	nembev2@hotmail.com
I do NOT support the proposed development of the property located at 108 8 St S	true
Signature	
Added Time	14-Sep-2021 15:37:03
Referrer Name	
Task Owner	dean@lbd.co

Name	Brittany, Sehn
Business Name (If Applicable)	Sun Dental Group
Business Location (If Applicable)	
Phone	
Email	bprussel@ualberta.ca
I do NOT support the proposed development of the property located at 108 8 St S	true
Signature	
Added Time	14-Sep-2021 15:29:15
Referrer Name	https://forms.zohopublic.com/littlebrowndog/form/ProposedDevelopmentat1088StS/thankyou/formperma/gb1EpZYWdwNiibjDz70q8gEYUH_2_Wmk8TDkCvD-m1Y
Task Owner	dean@lbd.co

Name	Irvine, Brenda
Business Name (If Applicable)	Sun Dental Group
Business Location (If Applicable)	718-3rd Ave South
Phone	
Email	birvine1961@gmail.com
I do NOT support the proposed development of the property located at 108 8 St S	true
Signature	
Added Time	14-Sep-2021 15:26:36
Referrer Name	
Task Owner	dean@lbd.co

Name	Leslie, King
Business Name (If Applicable)	Sun Dental Group
Business Location (If Applicable)	718 3rd Ave South
Phone	
Email	dido1245@yahoo.ca
I do NOT support the proposed development of the property located at 108 8 St S	true
Signature	
Added Time	14-Sep-2021 15:25:58
Referrer Name	
Task Owner	dean@lbd.co

Name	Rajesh, Grover
Business Name (If Applicable)	Stafford Family Dental
Business Location (If Applicable)	821 3rd Ave S
Phone	4039423733
Email	staffordfamilydental@shaw.ca
I do NOT support the proposed development of the property located at 108 8 St S	true
Signature	
Added Time	14-Sep-2021 15:23:32
Referrer Name	
Task Owner	dean@lbd.co

Name	Kristin, Wiltshire
Business Name (If Applicable)	Sun dental
Business Location (If Applicable)	718 3 Ave s
Phone	
Email	Kristin.wiltshire@gmail.com
I do NOT support the proposed development of the property located at 108 8 St S	true
Signature	
Added Time	14-Sep-2021 15:13:24
Referrer Name	
Task Owner	dean@lbd.co

Name	Karissa, Fekete
Business Name (If Applicable)	Professional Optical
Business Location (If Applicable)	808 1 Ave South
Phone	403-327-3444
Email	karissa@professionaloptycal.ca
I do NOT support the proposed development of the property located at 108 8 St S	true
Signature	
Added Time	14-Sep-2021 15:03:53
Referrer Name	
Task Owner	dean@lbd.co

Name	Colleen, Armstrong
Business Name (If Applicable)	Intrigue Lingerie Boutique
Business Location (If Applicable)	313 - 7th Street S
Phone	4933291810
Email	llbl@telus.net
I do NOT support the proposed development of the property located at 108 8 St S	true
Signature	
Added Time	14-Sep-2021 14:57:49
Referrer Name	
Task Owner	dean@lbd.co

Name	Helena, Abelhans
Business Name (If Applicable)	Stafford Family Dental
Business Location (If Applicable)	821 3th Ave. south
Phone	
Email	Helena.abelhans@yahoo.com
I do NOT support the proposed development of the property located at 108 8 St S	true
Signature	
Added Time	14-Sep-2021 14:44:48
Referrer Name	
Task Owner	dean@lbd.co

Name	Alyssa, Ross
Business Name (If Applicable)	Stafford Family Dental
Business Location (If Applicable)	821 3rd Ave S
Phone	
Email	alyssaambrus@gmail.com
I do NOT support the proposed development of the property located at 108 8 St S	true
Signature	
Added Time	14-Sep-2021 14:24:25
Referrer Name	
Task Owner	dean@lbd.co

Name	Judy, Irvine
Business Name (If Applicable)	
Business Location (If Applicable)	821 - 3rd Avenue South
Phone	
Email	Gingeralequeen@live.cw
I do NOT support the proposed development of the property located at 108 8 St S	true
Signature	
Added Time	14-Sep-2021 14:14:40
Referrer Name	
Task Owner	dean@lbd.co

Name	Shelley, Jensen
Business Name (If Applicable)	Stafford Family Dental
Business Location (If Applicable)	821 3 Ave S
Phone	
Email	s.jensen1@me.com
I do NOT support the proposed development of the property located at 108 8 St S	true
Signature	
Added Time	14-Sep-2021 14:14:35
Referrer Name	
Task Owner	dean@lbd.co

Name	Jennifer, Wirun
Business Name (If Applicable)	
Business Location (If Applicable)	821 3rd avenue south
Phone	4033309248
Email	jenwirun@hotmail.com
I do NOT support the proposed development of the property located at 108 8 St S	true
Signature	
Added Time	14-Sep-2021 14:13:48
Referrer Name	
Task Owner	dean@lbd.co

Name	Anthony, Castillo
Business Name (If Applicable)	
Business Location (If Applicable)	
Phone	403 795 1398
Email	anthony.castillo22@outlook.com
I do NOT support the proposed development of the property located at 108 8 St S	true
Signature	
Added Time	14-Sep-2021 14:10:14
Referrer Name	
Task Owner	dean@lbd.co

Name	Dixie, Dueck
Business Name (If Applicable)	Lethbridge
Business Location (If Applicable)	
Phone	4037954417
Email	dixiehorse@gmail.com
I do NOT support the proposed development of the property located at 108 8 St S	true
Signature	
Added Time	14-Sep-2021 14:09:13
Referrer Name	
Task Owner	dean@lbd.co

Name	Hunter, Heggie
Business Name (If Applicable)	King of Trade
Business Location (If Applicable)	317 5th St S
Phone	4033825954
Email	hunterheggie@gmail.com
I do NOT support the proposed development of the property located at 108 8 St S	true
Signature	
Added Time	14-Sep-2021 12:12:05
Referrer Name	
Task Owner	dean@lbd.co

HEGGIE DEVELOPMENTS LTD.

317 5TH STREET SOUTH
LETHBRIDGE ALBERTA T1J 2B4

September 14, 2021

Municipal Planning Commission

Re: 108 8th Street Development

I would like to add my voice to those who have concerns regarding this project. Here are some of the concerns I would hope would be addressed by the developer.

1. It seems that this location has been chosen because it is already owned by the developer. There may be better locations for the building and that should be investigated before approval.

2. With the current building on 1st Ave, men are standing around the building smoking and catcalling patrons and employees of neighboring businesses. A good neighbor policy of some kind should be considered to prevent future problems. The Rooftop patio may also help with this if it will be used.

3. I have been a neighbor of Streets Alive Mission on 4th Street for 4 years. I have met with Mr. Kissick and together we have tried to work through and discuss solutions. I believe Ken has good intentions. I respect the work he is trying to accomplish. Setting good intentions aside, I believe his facility brings a negative impact on the neighborhood. I have also not experienced the formal mechanism for resolving neighbor complaints which Ken speaks of in his letter to neighbors. I believe that this project is not in the best interest of the area.

I would ask that these concerns be considered.

Thank you for your consideration and your devotion to improving our great city.



Hunter Heggie
President
Heggie Developments Ltd.
317 5th St. S
Lethbridge
403-382-5954

September 15, 2021

David Sarsfield
Secretary of the SDAB

Dear Mr. Sarsfield:

Re: Development at 108 8 Street South (Streets Alive)

Further to the above noted matter, I can advise that our offices are located on the opposite side of the alley of Streets Alive, a couple feet away. With that being said, our offices have been negatively impacted by said building and personnel involved and are against the approved the new development by the Municipal Planning Commission.

Our business employs multiple women and we have all mentioned how we feel uncomfortable with the amount of individuals passed out all around, as well as approaching us to ask for money. During this, we have not been provided with any form of safety plan from Streets Alive, or security plan. Our staff could call the police, but everyday we are faced with having to deal with these individuals making it easier to just keep our heads up and keep walking. This also affects our business because our client's have to also deal with this issue.

On another note, there is no actionable Communication Plan within our community, although our office is within a couple feet from Streets Alive, we have no form of contact with Streets Alive or how to even get in contact with the same. Although we have these issues there is nowhere to report these incidents to Streets Alive.

We are truly distraught that this project was approved without the consideration of the many of businesses around it. We moved downtown to be apart of their new vibrant and safe environment, but with this new development being approved, our offices are more worried about the type of individuals wondering around.

Although Streets Alive has been confronted in the past about these concerns, they have never addressed these issues with their community.

Yours truly,

SPLITSVILLE DIVORCE & FAMILY LAW



KATELYN M. WILLMOTT
KMW/cj



Letter of Support

To Whom it may Concern:

I Mark Lencucha, have received and reviewed the project details for the development of
Name
Streets Alive Mission's property located at 712-1 Ave South Lethbridge.

Our business, Mark Lencucha P.E located at
801 B-3 Ave S, is in support of the revitalization of the property.

Signature

403-308-3404
Phone Number

Date

July 30, 2021
email
mark@latax.ab.ca



Community Partnership Development

I have received the information package regarding Streets Alive Mission's proposal to develop and build on their 712-1 Ave South property here in Lethbridge.

ESutton
Signature

July 29/21
Date

Elizabeth Sutton
Name

- I agree with and support Streets Alive Mission's proposed plan. 150%
- Currently, I am neutral about this project.

[Signature]
Signature

July 29/21
Date

Community Partnership Development

I have received the information package regarding Streets Alive Mission's proposal to develop and build on their 712-1 Ave South property here in Lethbridge.

Monty Jensen
Signature

Aug. 10/2021
Date

Monty Jensen
Name

- I agree with and support Streets Alive Mission's proposed plan.
- Currently, I am neutral about this project.

Monty Jensen
Signature

Aug. 10/2021
Date



Community Partnership Development

I have received the information package regarding Streets Alive Mission's proposal to develop and build on their 712-1 Ave South property here in Lethbridge.

Judy Budd
Signature
Judy Budd
Name

July 29/21
Date

I agree with and support Streets Alive Mission's proposed plan.

Currently, I am neutral about this project.

Judy Budd
Signature

July 29/21
Date

VIA EMAIL (david.sarsfield@lethbridge.ca)

September 14, 2021

Subdivision and Development Appeal Board
Attn: David Sarsfield, Board Secretary

Dear Sir:

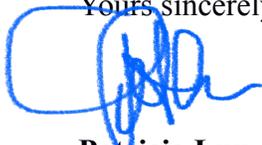
RE: Proposed development at 108 8 St. South, Lethbridge Alberta

We are the owner of 701/703/705 2nd Ave South. The property is located in proximity of 108 8 St. South, Lethbridge, Alberta. We have owned the property since 2007. We are writing to advise you that we do not support the building of the proposed supportive housing facility at this site.

We have decided to support this appeal for the following reasons:

- 1) **The Downtown BRZ**, representing over 500 businesses in the downtown core, **does not support this project**;
- 2) **No adequate safety or security plan** has been provided by Streets Alive for their building or the surrounding community or businesses;
- 3) **The project does not provide adequate parking** and will have a negative impact on local business by taking away valuable street parking;
- 4) **As a neighbour of Streets Alive for over 15 years, Streets Alive has never responded to or addressed any of the issues we have raised with them over the years.**

Yours sincerely,



Patricia Luu
DeRhodes 1977 Investments Ltd.



Sept 15, 2021

Letter of support: Streets Alive Exodus Supportive Recovery Housing 108 - 8 Street S, Lethbridge

To Whom It May Concern:

As the owners of The Port Coworking Space located at 105 8 Street South, we would like to communicate our support of the proposed development at 108 8 Street South with the **full 24 bed capacity**.

We have not only owned our building across the street from the proposed development since 2016 but have also occupied it in a business and residential capacity for the duration. We currently live in the upper floor apartment with our child and operate 2 businesses out of the main level of the building. There are numerous businesses and entrepreneurs who rent private offices and shared workspace here.

Our time here allows us to fully observe the environment and activity on a 24/7 basis and gives us a unique perspective on the area. We consider ourselves highly invested in the success and vitality of our neighborhood as this is where we have built our lives and livelihood.

We believe that this development will benefit both the neighborhood and Lethbridge as a community in several ways (not limited to):

- Continuing and increased support and accountability for individuals in the programs
- Improving the appearance of the neighborhood – new, secure facility vs. old building and largely unused parking lot
- Changing the path of foot traffic through the neighborhood – diverting traffic from Galt Gardens/downtown to the shelter
- Increasing security of 8th Street – additional cameras, staffing, secure building, etc.
- Additional opportunities to work together and communicate in cooperation with our neighbors to continue revitalization and improvement of the block
- New building will address and resolve a number of issues that the current facility cannot
 - o private and enclosed smoking areas,
 - o additional kitchen and recreational facilities for residents,
 - o upgraded security,
 - o more formal complaint and resolution process

There are items on which the parties involved will need to communicate and collaborate to ensure the best outcome for both the project and the surrounding business and individuals. We support this process and hope to see an outcome that will positively impact the whole community.

Sincerely,

Tim and Andrea Sandul