



CITY OF
Lethbridge

Office of the City Clerk

October 9, 2018

RE: NOTICE OF HEARING - SUBDIVISION AND DEVELOPMENT APPEAL BOARD

An appeal has been filed on the approval of the Development Officer to construct a Detached Garage with Secondary Suite at 244 20 Street North, Development Permit DEV10626.

When an appeal is filed with the Subdivision and Development Appeal Board (SDAB), all persons who own property within 200 feet or 60 meters of the development are notified of the hearing by way of this letter. In addition, the owner of the property, the applicant of the development permit, the Community Association and the person(s) who filed the appeal will also receive a copy of this letter.

The Subdivision and Development Appeal Board (SDAB) will hold a Public Hearing as follows:

DATE:	Thursday, November 1, 2018
TIME:	5:00 p.m.
LOCATION:	Council Chambers, Main Floor, City Hall 910 – 4 Avenue South

Persons affected by this development have the right to present a written, verbal and/or visual submission to the Board. When making a presentation, keep in mind that in accordance with the legislation that governs the SDAB, the Board can only consider relevant planning matters when rendering its decision. It is recommended that you limit your presentation to five minutes.

If you wish to submit written material to the Board, it should be delivered to the Secretary of the SDAB, no later than 12:00 noon on the Wednesday prior to the hearing. If you are unable to meet this submission deadline, please bring 12 copies of the materials to the Hearing and it will be distributed at the start of the Hearing. Any written and/or visual material received will be made available to the public.

We will be pleased to answer any questions you may have regarding the appeal and can also provide information or advice on Board procedures and how to make presentations to the Board. Please feel free to contact me at 403 329 3030 if you have any questions.

Yours truly,

Wendy Smith
Acting Board Secretary,
Subdivision and Development Appeal Board



CITY OF
Lethbridge

NOTICE OF A SUBDIVISION AND DEVELOPMENT APPEAL BOARD HEARING

DATE: Thursday, November 1,
2018 PLACE: Council Chambers, 1st Floor
City Hall - 910 - 4th Avenue South
TIME: 5:00 p.m.

AGENDA:

1. CALL TO ORDER

PRESENTATIONS:

- 2.1 5:00 p.m.
SDAB No. 2018-07
APPEAL OF DEVELOPMENT PERMIT 10626

Appellants: Jill and Andy Smith

Address: 244 20 Street North

To construct a Detached Garage with Secondary Suite, New

**Land Use District: R-L (W) (Low Density Residential -
Westminster)**



CITY OF
Lethbridge

NOTICE OF APPEAL
Subdivision & Development Appeal Board

In accordance with sections 678 and 686 of the *Municipal Government Act* and The City of Lethbridge Bylaw 4749, an appeal to the Subdivision and Development Board must be filed within the legislated time frame.

Site Information			(Date Received by App) CITY OF LETHBRIDGE RECEIVED OCT 03 2010 OFFICE OF THE CITY CLERK
Municipal Address of Appeal 244 20th STREET N.			
Legal Description of Site (must be completed for subdivision appeals)			
Development Application Number or Subdivision Application Number DEV10626			
Appellant Information			(Office use Only)
Name JILL SMITH			
Mailing Address Box 19			
City SHAUGHNESSY	Province AB	Postal Code T0K 2A0	
Residence # 403-317-7626	Business #	Email jillandandy.smith@hotmail.com	

APPEAL AGAINST (Check One Box Only) for multiple appeals you must submit another Notice of Appeal

Development Permit	Subdivision Permit	Notice of Order
<input checked="" type="checkbox"/> Approval <input type="checkbox"/> Conditions of Approval <input type="checkbox"/> Refusal	<input type="checkbox"/> Approval <input type="checkbox"/> Conditions of Approval <input type="checkbox"/> Refusal	<input type="checkbox"/> Notice of Order

REASONS FOR APPEAL Sections 678 and 686 of the *Municipal Government Act* require that the written Notice of Appeal must contain specific reasons for the appeal.

The grounds for this appeal are as follows:

THE REAR ALLEY OFF 2ND AVE B IS EXTREMELY
 NARROW AND RESTRICTED ACCESS TO LARGE
 VEHICLES. THIS PROPOSED BUILDING & PARKING
 AREA WILL FURTHER RESTRICT THIS LANE
 FIRE & SAFETY ACCESS IS LIMITED.

(Attach a separate page if required)

This Personal information is collected under the authority of the Freedom of Information and protection of Privacy Act, Section 33(c) and the Municipal Government Act, Sections 6788 and 685 Note: **This information will form part of a file available to the public**, if you have any questions regarding the collection of this information, contact the FOIP Coordinator at (403) 329-7329.

Signature of Appellant			Date YYYY MM DD		
FOR OFFICE USE ONLY					
Final Date of Appeal YYYY MM DD		Appeal Number		Hearing Date YYYY MM DD	
Date Appellant Notified YYYY MM DD					



CITY OF
Lethbridge

Land Use Bylaw 5700
DEVELOPMENT PERMIT

**PERMIT NO.
DEV10626**

Address: **244 20 ST N**
Legal: 904C;B;15

District: R-L(W)

Applicant: OLIVIER, WES
Address: 4001 SUNDANCE RD COALHURST AB T0L 0V2

Phone: 403-634-8900

Development Proposed To construct a detached garage with a secondary suite. The three required off-street parking stalls will be provided.

District ACCESSORY BUILDINGS - RES

Land Use ACCESSORY BUILDING - PERMITTED
SECONDARY SUITE, NEW - DISCRETIONARY

CONDITIONS OF APPROVAL

1. The detached garage with secondary suite shall be developed in accordance with the plans submitted September 4, 2018. Any changes to these plans require the approval of the Development Officer.
2. A minimum of three off-street parking stall (2 for the single detached dwelling and 1 for the secondary suite) shall be provided and maintained at all times.
3. The exterior appearance of the dwelling shall be in accordance with the plans submitted September 4, 2018 to the satisfaction of the Development Officer.

Decision Date

Sep 05, 2018

Valid Date

Oct 10, 2018

Development Commencement

Provided this decision is not appealed, development shall commence:

- on or after the valid date, and
- within one year of the valid date.

Development may commence before the valid date only if the applicant has signed the "Voluntary Waiver of Claims" and is in receipt of this signed permit.

Development Authority


PAM COLLING, DEVELOPMENT OFFICER

STATUTORY PLANS

The SSRP and applicable municipal statutory plans were considered in rendering this decision.

APPEALS

The applicant has the right to appeal this decision to the Subdivision and Development Appeal Board. An appeal shall contain a statement of the grounds of appeal and shall be delivered either personally or by Registered Mail so as to reach the Secretary of the Subdivision and Development Appeal Board not later than twenty-one (21) days after the decision date indicated on the 'Development Permit' or 'Development Permit Application - Refused' letter.

FOIP

The personal information provided as part of this permit is collected under the Alberta Municipal Government Act and in accordance with section 33(c) of the Freedom of Information and Protection of Privacy Act. The information is required and will be used for issuing permits, Land Use By-law 5700 compliance verification and monitoring, and property assessment purposes. The name of the permit holder and the nature of the permit is available to the public upon request and may be revealed in public appeal processes.

If you have questions about the collection or use of the personal information provided, please contact Information Management at 910 4 Ave S Lethbridge, AB, T1J 0P6 or phone at (403) 329-7329, or email developmentsservices@lethbridge.ca.

Permit No. DEV10626

City of Lethbridge

Planning and Development Services

910 - 4th Avenue South
Lethbridge, AB
T1J 0P6

General #: 403-320-3920
Inspection #: 403-320-3830
Fax #: 403-327-6571

Development Permit Application

LAND USE BYLAW 5700 - FORM A

BP _____
DEV 10626

Project Address: _____

Unit / Bay # _____

Civic Address 244-20 St N

Date: Sept 4/2018

Access Code: _____

Property Owner

Name: Wes Olivier

Applicant

Paid

Address: 4001- Sundance Rd
Coalhurst Alberta

Phone: 403 634 8900 Fax: _____

Signature: Wesley Ol-

Land Owner Consent

The owner of this property knows the full details of the proposed development and knows I am making this development application.

Yes No

Applicant

Name: Wes Olivier

Applicant

Paid

Address: 4001- Sundance Rd
Coalhurst Alberta

Phone: 403 634 8900 Fax: _____

Signature: Wesley Ol-

Email: wolivier@telus.net

** Providing an email address means you consent to receive all documents via this address. Please ensure accuracy **

B/L #: _____

Details of Proposed Development

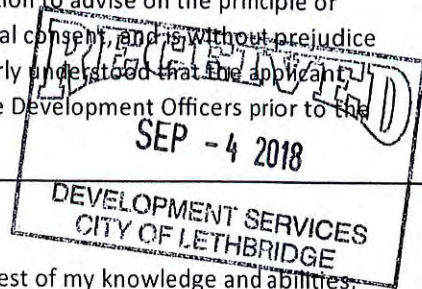
Det Garage with
secondary suite

R-L (w). Lot - 508.00m²

504 + 50 = \$550.00

Be Advised

Although the Development Officers of the City of Lethbridge are in a position to advise on the principle or details of proposals, such advice must not be taken in any way as an official consent, and is without prejudice to the decision in connection with the formal application. It must be clearly understood that the applicant shall not proceed with the development based on comments made by the Development Officers prior to the issuing of a development permit.



Confirmation

The information I have provided herein and herewith is true, and to the best of my knowledge and abilities, accurate and complete.

Signature: Wesley Ol-

Date: September 4 2018

Version Date: December 27, 2017

City of Lethbridge

**Planning and
Development
Services**

910 - 4th Avenue South
Lethbridge, AB
T1J 0P6

General #: 403-320-3920
Inspection #: 403-320-3830
Fax #: 403-327-6571

Voluntary Waiver of Claims

DEVELOPMENT COMMENCEMENT - FORM A.1

LUB 5700, Section 5.10.1

BP _____
DEV 10626

Project Address: _____

Unit/Bay # _____

Civic Address 244-20 St. N.

Date: September 04 2018

Access Code: _____

"VOLUNTARY WAIVER OF CLAIMS" (Optional)

For Development Approvals of Discretionary Uses and/or Approvals granting a waiver of development standards

This "Voluntary Waiver of Claims" allows you to commence your development in advance of the date of validity on your Development Permit. The permit's valid date is the date at which the appeal period for the public has expired.

By agreeing to this "Voluntary Waiver of Claims" you agree that should an appeal be made you will immediately cease the development pending the outcome of the appeal and will waive all claims to compensation from the City of Lethbridge for costs associated with that cessation and/or costs resulting from the outcome of the appeal.

Agreement to this "Voluntary Waiver of Claims" does not nullify your own right to an appeal. You may appeal any condition of approval on the Development Permit to the Subdivision and Development Appeal Board by the date identified on your permit.

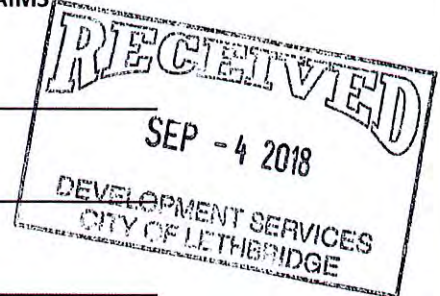
Agreement to this "Voluntary Waiver of Claims" and possession of the released Development Permit does not eliminate the need for a Business License, Building Permit or other permits. Do not commence development without first obtaining all the necessary permits.

I HAVE READ, UNDERSTOOD, AND AGREE TO THIS "VOLUNTARY WAIVER OF CLAIMS"

Name (Please Print) Wes Olivier

Signature: *Wes Olivier*

Date: September 04 2018



Version Date: December 28, 2017

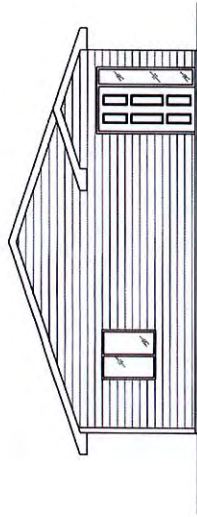
Any personal information collected on this form is collected in accordance with Sections 683, 685 and 686 of the Alberta Municipal Government Act and Section 33(c) of the Freedom of Information and Protection of Privacy Act. Please note that such information may be made public. If you have any questions about the collection, use or disclosure of the personal information provided, please contact Information Management at 910 4 Ave S, Lethbridge, AB, T1J 0P6 or phone at (403) 320-7329.

CEDAR BROOK HOMES

244 - 20TH STREET NORTH - 728 ft² GARAGE SUITE

DRAWING NO. _____

- III TITLE PAGE
- A1.0 SITE PLAN
- A1.1 MAIN FLOOR PLAN
- A2.1 FOUNDATION PLAN
- A3.1 ROOF PLAN
- A4.1 ELEVATIONS
- A4.2 BUILDING CROSS SECTIONS
- A5.1 TYPICAL WALL DETAILS
- A6.1 TYPICAL WALL DETAILS
- A6.2 TYPICAL INSULATION DETAILS
- A6.3



9.36 PRESCRIPTIVE ENERGY EFFICIENCY CALCULATION

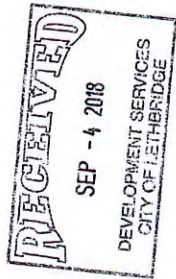
DESCRIPTION	R VALUE	F VALUE	U VALUE	AREA	LOSS
CEILING (EXTERIOR)	5.0	0.20	0.20	1000	200
CEILING (INTERIOR)	0.9	1.13	1.13	1000	1130
WALLS (EXTERIOR)	4.0	0.25	0.25	1000	250
WALLS (INTERIOR)	0.9	1.13	1.13	1000	1130
FLOOR (EXTERIOR)	15.0	0.07	0.07	1000	70
FLOOR (INTERIOR)	1.0	1.00	1.00	1000	1000
DOORS (EXTERIOR)	0.17	5.88	5.88	20	1176
DOORS (INTERIOR)	0.17	5.88	5.88	20	1176
GLAZING (EXTERIOR)	0.17	5.88	5.88	20	1176
GLAZING (INTERIOR)	0.17	5.88	5.88	20	1176
INfiltration					1000
VENTILATION					1000
HEATING LOAD					1000
Cooling Load					1000
ENERGY INDEX					1000

ABOVE GRADE WALL ASSEMBLY

DESCRIPTION	R VALUE	F VALUE	U VALUE	AREA	LOSS
EXTERIOR FINISH	0.17	5.88	5.88	20	1176
BRICK	4.0	0.25	0.25	1000	250
INSULATION	15.0	0.07	0.07	1000	70
PLASTER	0.08	12.50	12.50	20	2500
INTERIOR FINISH	0.08	12.50	12.50	20	2500
TOTAL					1000

BELOW GRADE WALL ASSEMBLY

DESCRIPTION	R VALUE	F VALUE	U VALUE	AREA	LOSS
EXTERIOR FINISH	0.17	5.88	5.88	20	1176
CONCRETE	0.08	12.50	12.50	20	2500
INSULATION	15.0	0.07	0.07	1000	70
PLASTER	0.08	12.50	12.50	20	2500
INTERIOR FINISH	0.08	12.50	12.50	20	2500
TOTAL					1000



cedarbrook homes

PANTHER HOMES & DRAFTING
 732 Florence Ho Loop
 Crescent North
 Lethbridge, Alberta
 T1H 0R6
 403.765.4737
 E-mail: pantherdrafting@gmail.com

#	COMMENTS	DATE	BY
1	FOR APPROVAL	18-07-30	DPB
2	REVISIONS	18-08-15	DPB

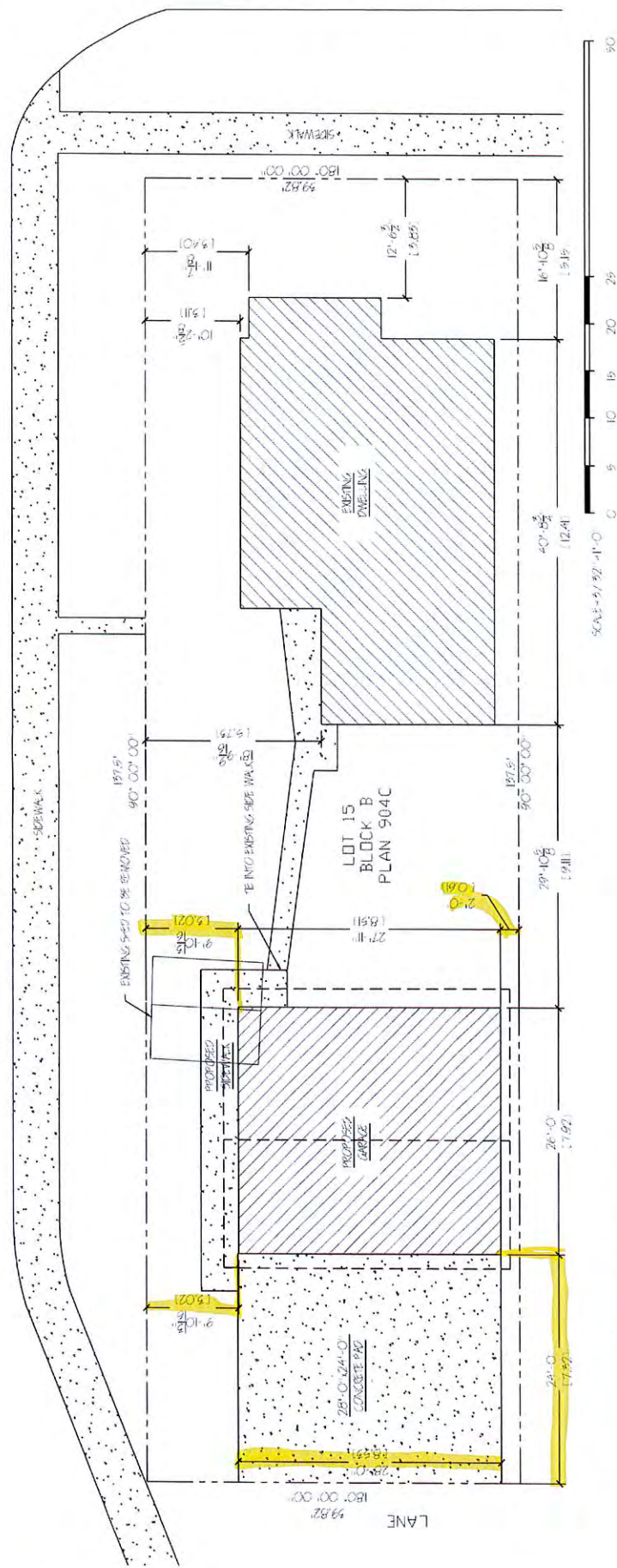
PROJECT NUMBER: PHD18-02
 SHEET NAME: NTS
 SHEET COUNT: 11.1
 PROJECT NAME: CEDAR BROOK HOMES
 INDEX AND TITLE PAGE

CITY OF *Lethbridge*
APPROVED AS PER
LAND USE BYLAW 5700
SEP - 5 2018

PERMIT #: DEV10626
 SIGNATURE: [Signature]

2B Avenue North

20th Street North



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 CITY OF LETHBRIDGE

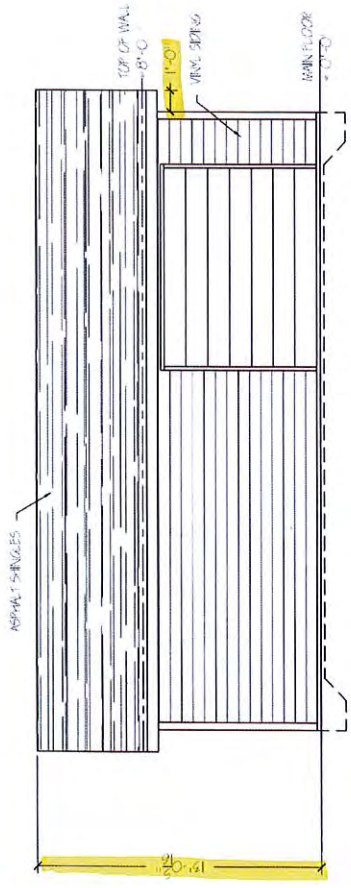
PROJECT NAME		DATE	
PHD18-02		18-07-30	
BY		DPB	
3/32" = 1'-0"		18-08-15	
DATE		DPB	
CEDAR BROOK HOMES			
SHEET NAME		SITE PLAN	

cedarbrook homes

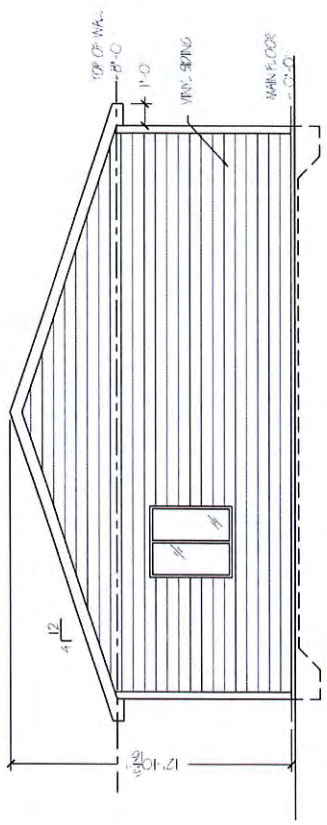
PANTHER HOMES & DRAFTING
 732 Florence Rd Leong
 Crescent North
 Lethbridge, Alberta
 T1H 3S5
 Phone: 403.735.4737
 E-mail: pantherdrafting@gmail.com

CITY OF *Lehrdridge*
APPROVED AS PER
LAND USE BYLAW 5700
SEP - 5 2018

PERMIT #: *DEV10626*
 SIGNATURE: *P. Callery*



○ WEST ELEVATION
 SCALE 3/16" = 1'-0"



○ SOUTH ELEVATION
 SCALE 3/16" = 1'-0"

RECEIVED
 SEP - 4 2018
 DEVELOPMENT SERVICES
 CITY OF LEHRDRIDGE

PROJECT		DATE		BY	
PHD18-02		18-07-30		DPB	
DRAWING SCALE		18-08-15		DPB	
DRAWING NO.		18-08-15		DPB	
DRAWING TITLE		18-08-15		DPB	
DRAWING NO.		18-08-15		DPB	
DRAWING TITLE		18-08-15		DPB	

A4.1

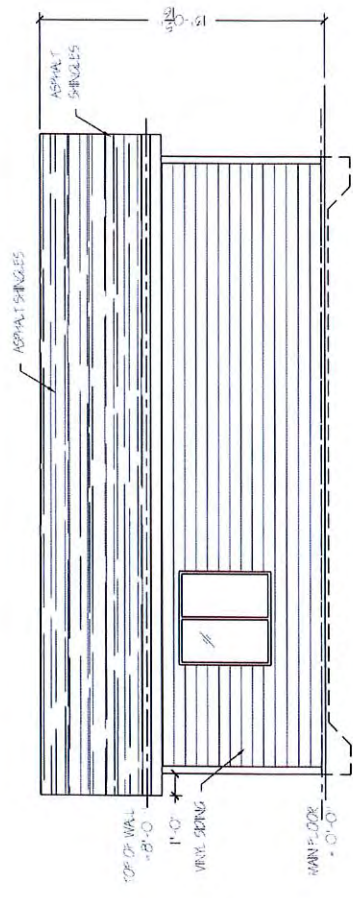
3/16" = 1'-0"
 CEDAR BROOK HOMES
 ELEVATIONS

PANTHER HOMES & DRAFTING
 22 Finnerley Ho Leong
 Calgary, Alberta
 T1H-5R5
 Phone: 403-795-4737
 Email: pantherdrafting@gmail.com

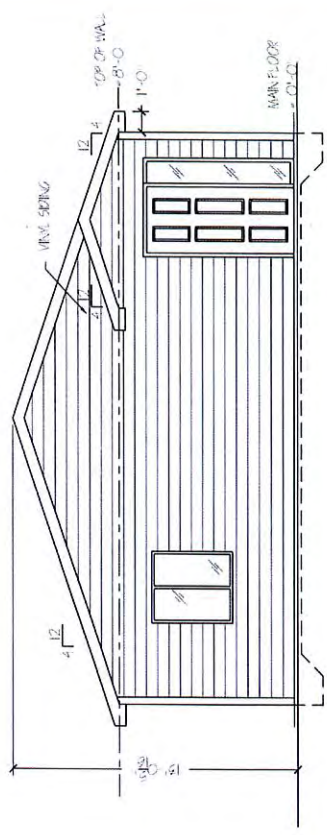


CITY OF *Leeds*
APPROVED AS PER
LAND USE BYLAW 5700
SEP - 5 2018

PERMIT #: *DEV1026*
 SIGNATURE: *R. Collins*



⊙ EAST ELEVATION
 SCALE 3/16" = 1'-0"



⊙ NORTH ELEVATION
 SCALE 3/16" = 1'-0"

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 DEVELOPMENT SERVICES
 CITY OF LEEDS

PROJECT #		DATE		BY	
PHD18-02		18-07-30		DPB	
PROJECT SCALE		18-08-15		DPB	
3/16" = 1'-0"					
OWNER NAME		CEDAR BROOK HOMES		ELEVATIONS	

cedarbrook homes
 PANTHER HOMES & DRAFTING
 732 Highland Loony
 Crescent North
 Lehighville, Alberta
 T1H-5R6
 Phone: 403.766.4737
 Email: pantherhomes@gmail.com

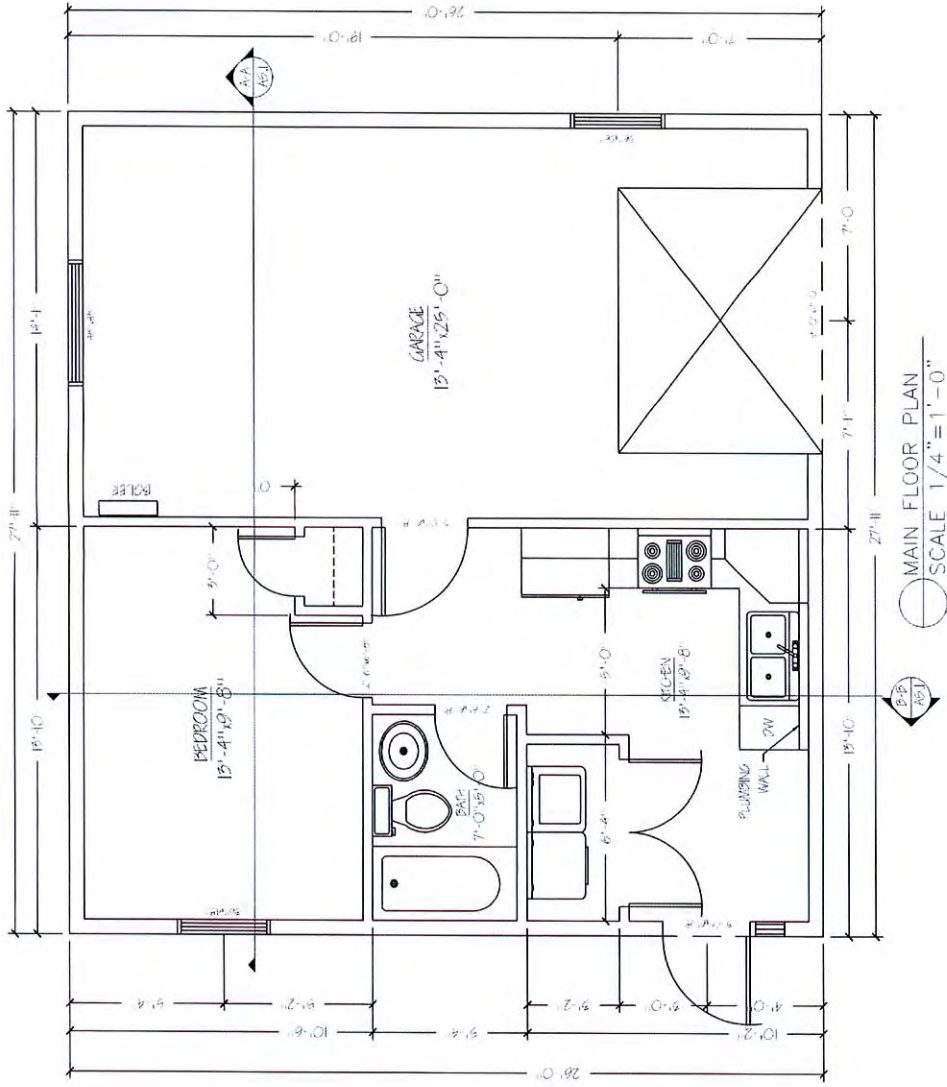


A4.2

CITY OF *Lethbridge*
APPROVED AS PER
 LAND USE BYLAW 5700
SEP - 5 2018

PERMIT #: *DEV106246*
 SIGNATURE: *P. Cooley*

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 DEVELOPMENT SERVICES
 CITY OF LETHBRIDGE



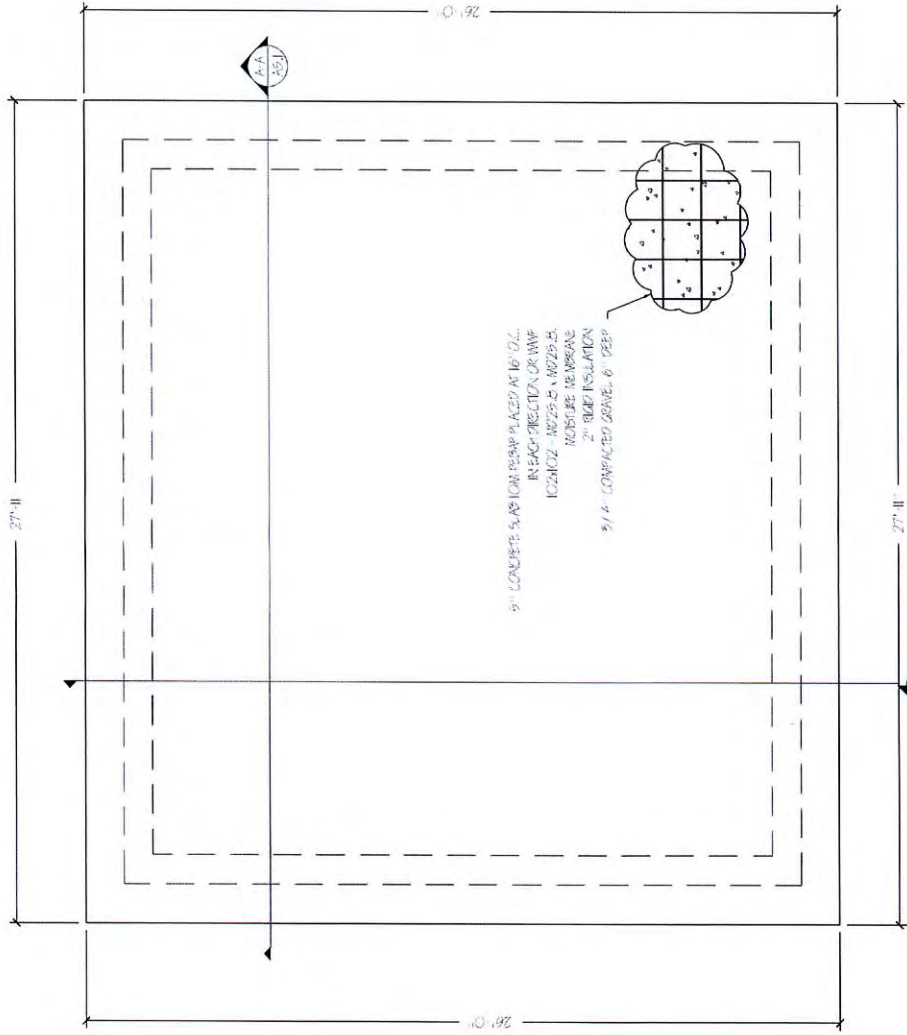
REVISIONS	
#	COMMENTS
1	FOR APPROVAL
2	REVISIONS

DATE	BY
18-07-30	DPB
18-08-15	DPB

PROJECT: PHD18-02
 SHEET: 1/4" = 1'-0"
 CLIENT: CEDAR BROOK HOMES
 TITLE: MAIN FLOOR PLAN

PANTHER HOMES & DRAFTING
 732 Florence Ho. Luong
 Crescent North
 Lethbridge, Alberta
 T1H 3K6
 P: 403-785-4737
 E-mail: pantherdrafting@gmail.com





6" CONCRETE SLAB ON FORM PLACED AT 16" O.C.
 REBAR DIRECTLY ON W/F
 ICING - 1025-2 X 1025-2
 ROOFING MEMBRANE
 2" RIGID INSULATION
 3/4" COMPACTED GRAVEL 6" DEEP

FOUNDATION PLAN
 SCALE = 1/4" = 1'-0"

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 SEP - 4 2018
 DEVELOPMENT SERVICES
 CITY OF LETHBRIDGE

REVISIONS	
#	COMMENTS
1	FOR APPROVAL
2	REVISIONS

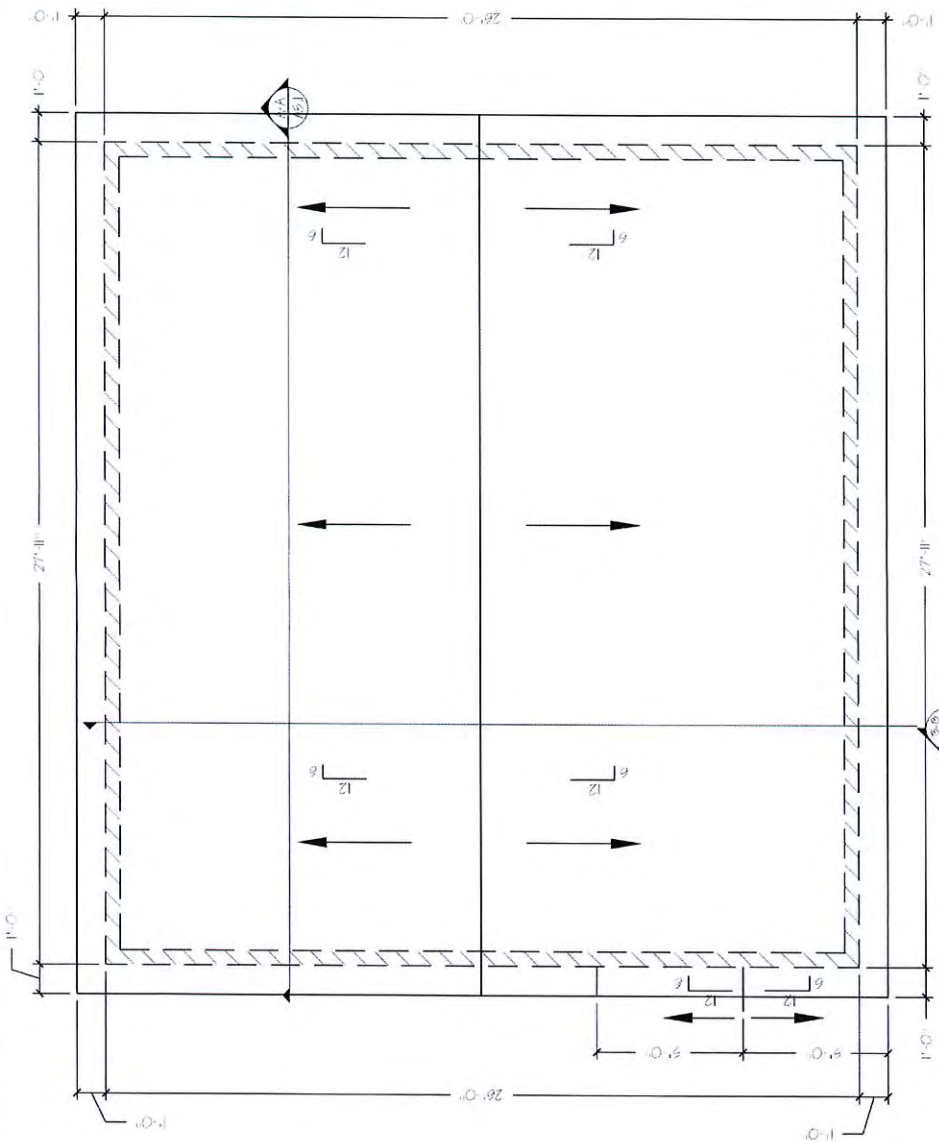
DATE	BY
18-07-30	DPB
18-08-15	DPB

PROJECT / PHD18-02	DATE PLOTTED / A2.1
SCALE / 1/4" = 1'-0"	
CLIENT NAME / CEDAR BROOK HOMES	
FOUNDATION PLAN	

PANTHER HOMES & DRAFTING
 732 Florence Ho Leung
 Crescent North
 Lethbridge, Alberta
 Phone: 403-795-4737
 E-mail: pantherdrafting@gmail.com



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 DEVELOPMENT SERVICES
 CITY OF LETHBRIDGE



ROOF PLAN
 SCALE 1/4" = 1'-0"

PROJECT		DATE		BY	
PHD18-02	1/4" = 1'-0"	18-07-30	18-08-15	DPB	DPB
REVISIONS		#	COMMENTS		
		1	FOR APPROVAL		
		2	REVISIONS		

A3.1

CEDAR BROOK HOMES
 ROOF PLAN

PANTHER HOMES & DRAFTING
 7400 100 Street
 Crescent North
 Lethbridge, Alberta
 T1H-5R5
 Phone: 403-964-4737
 Email: pantherdrafting@gmail.com



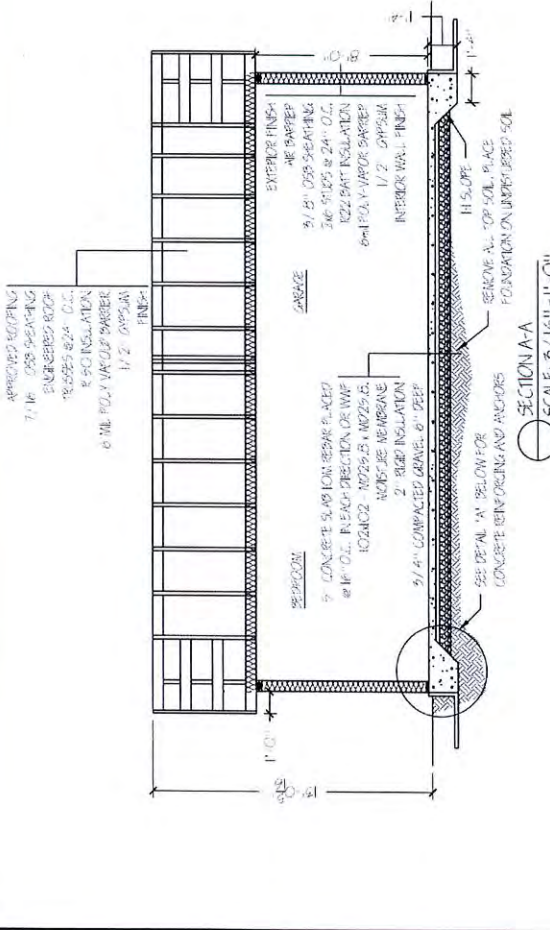
RECEIVED
 SEP - 4 2018
 DEVELOPMENT SERVICES
 CITY OF LETHBRIDGE

NOTES:

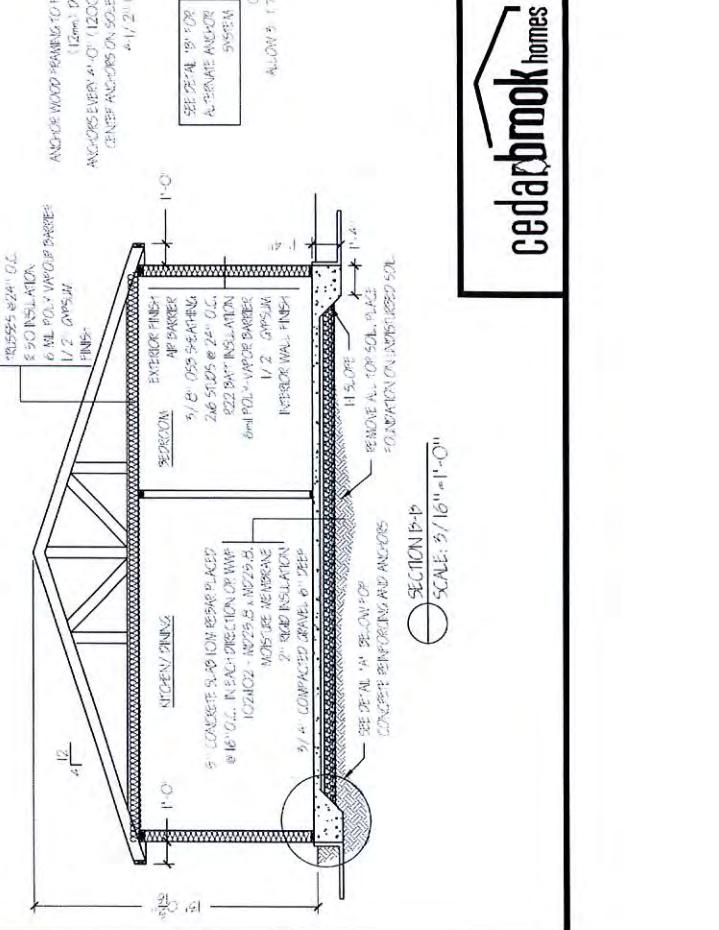
1. INSULATION FOR THE GARAGE FOUNDATION MUST CONFORM TO THE REQUIREMENTS OF TESTED SEALANTS AND BUILDING DETAILS AND THE ZOOM A SPEC BUILDING CODE
2. THE FOUNDATION DESIGN FOR HORIZONTAL AND VERTICAL RESISTANCE CLEAR SPACED 16" O.C. W/ 1" POLY VAPOR BARRIER
3. FOR THE ROOF CONSTRUCTION, CONSULT THE ARCHITECT'S REQUIREMENTS ON ALL JOISTS, RAFTERS AND BEAMS
4. THE FOUNDATION IS DESIGNED TO MEET MINIMUM STRUCTURAL REQUIREMENTS. PERFORMANCE REQUIREMENTS REGARDING SPALLING, CRACKING, DRAINAGE, ETC. ARE THE RESPONSIBILITY OF THE BUILDER
5. ALL CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF 28 DAYS, NOMINALLY 40 MPa / 5800 PSI. ALL CONCRETE SHALL BE 100% AIR ENTRAINMENT AND CONFORM TO THE REQUIREMENTS OF CSA A23.1.
6. ALL REINFORCEMENT TO BE GRADE AND DEFORMED BUILT-UP STEEL BAR CONFORMING TO CSA G40.21 AND/OR REINFORCED WIRE FABRIC CONFORMING TO CANADIAN
7. USE STANDARD CHAIRS TO ELEVATE REBAR IN PLACE FOR THE CLEARANCES NOTED ON THE DRAWINGS
8. THE BARS TOGETHER AT INTERSECTIONS, USE VERTICAL REBAR SPACED TO SUPPORT THE UPPER PART OF THE LOWER REBAR AT ALL THE THICKENED SLAB EDGES
9. ALL REBAR AND/OR WELDED WIRE FABRIC MUST BE PLACED CHAINED AND SECURED PRIOR TO POURING CONCRETE
10. NO REBAR IS TO BE PLACED IN COMPACTED GRAVEL, PROP TO POLYMER CONCRETE

LEGEND:

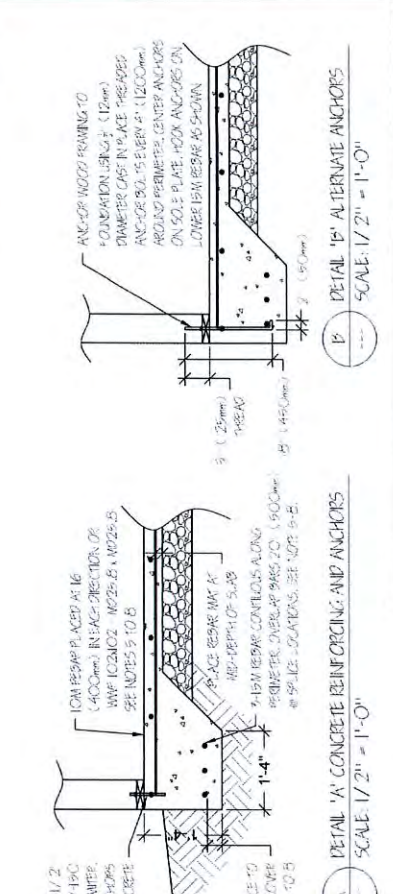
- 16" (400mm) - IMPERIAL DIMENSIONS (METRIC EQUIVALENT)
- ION REBAR - 10mm DIAMETER REBAR, W/ INDICATES METRIC
- W/ W/ 1020Z - 1020Z B, 1020Z B, 1020Z B - WELDED WIRE FABRIC
- REINFORCED 1020Z x 1020Zmm GRID SPACING W/ FOR METRIC, 10" FOR 250-250mm, 25-25mm x 250mm SECTION AREA.



SECTION A-A
 SCALE: 3/16" = 1'-0"



SECTION P-P
 SCALE: 3/16" = 1'-0"



DETAIL 15' ALTERNATE ANCHORS
 SCALE: 1/2" = 1'-0"

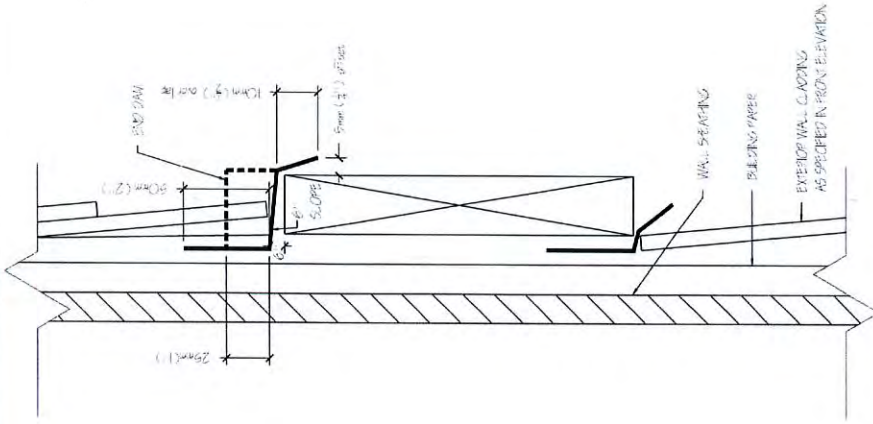
REVISED		DATE	BY
1	FOR APPROVAL	18-07-30	DPB
2	REVISIONS	18-08-15	DPB

#	COMMENTS
1	FOR APPROVAL
2	REVISIONS

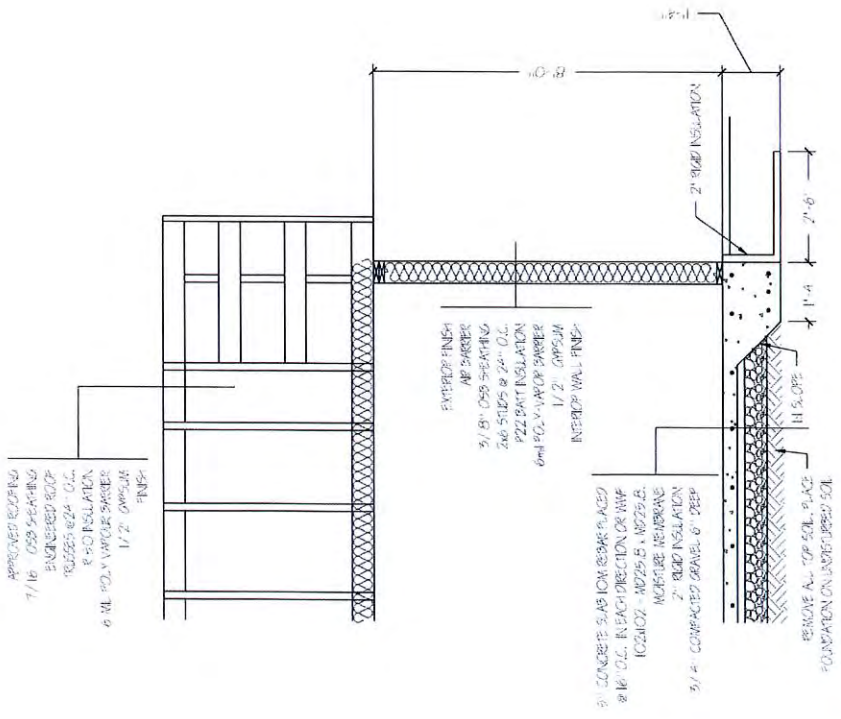
PHD 18-02
 AS SHOWN
 CEDAR BROOK HOMES
 BUILDING SECTIONS

PANTHER HOMES & DRAFTING
 732 Florence Rd. Leong
 Crescent North
 Lethbridge, Alberta
 T1H 3B6, 403.756.4737
 P: email: pantherdrafting@gmail.com

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 DEVELOPMENT SERVICES
 CITY OF LEATHERIDGE

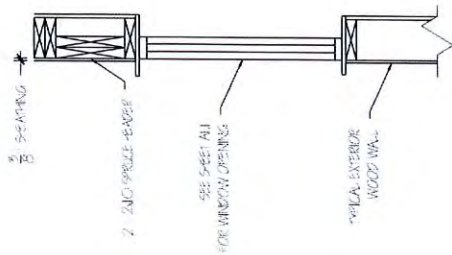


REQUIREMENTS FOR FLASHING
 IN EXTERIOR WALLS
 SCALE NTS

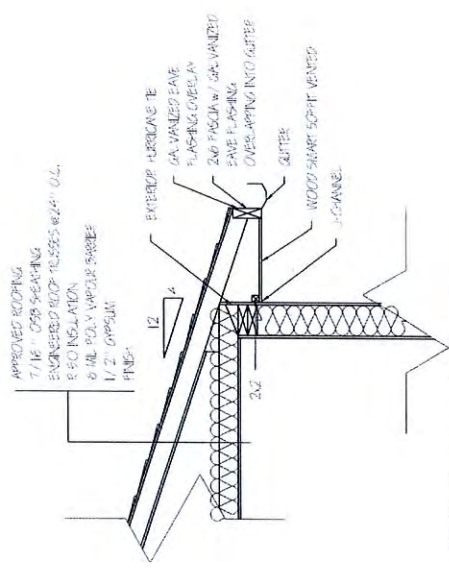


PANTHER HOMES & DRAFTING
 733 Florence Ave. West
 Crescent North
 Lethbridge, Alberta
 T1H 0S6
 P: 403-795-4737
 E: pantherdrafting@gmail.com

PROJECT		DATE		BY		REVISIONS	
NO.	DESCRIPTION	DATE	BY	NO.	DESCRIPTION	DATE	BY
1	FOR APPROVAL	18-07-30	DPB	1	FOR APPROVAL	18-07-30	DPB
2	REVISIONS	18-08-15	DPB	2	REVISIONS	18-08-15	DPB
PROJECT NO.		PHD18-02		PROJECT NAME		CEDAR BROOK HOMES	
PROJECT NAME		AS SHOWN		PROJECT NO.		TYPICAL WALL DETAILS	
PROJECT NO.		A6.1		PROJECT NAME		CEDAR BROOK HOMES	



TYPICAL DOOR & WINDOW HEADER
SCALE 3/4" = 1'-0"



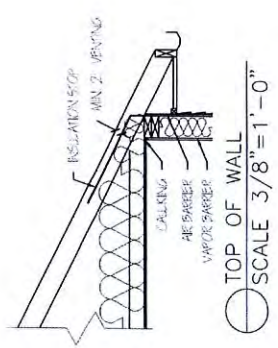
TYPICAL ROOF DETAIL
SCALE 1/2" = 1'-0"

RECEIVED
SEP - 4 2018
DEVELOPMENT SERVICES
CITY OF LITTLE ROCK

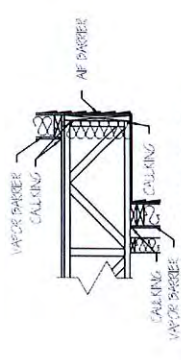
PROJECT #		DATE	
PHD18-02	18-07-27	BY	DPB
AS SHOWN	18-08-15	REVISIONS	DPB
SHEET NUMBER		TYPICAL DETAILS	
A6.2		CEDAR BROOK HOMES	

PANTHER HOMES & DRAFTING
7000 University
Crestmont North
Little Rock, Arkansas
71418-565
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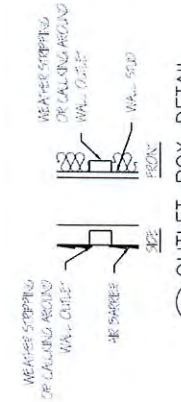




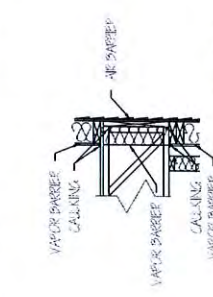
○ TOP OF WALL
SCALE 3/8" = 1'-0"



○ CANTILEVER DETAIL
SCALE 3/8" = 1'-0"



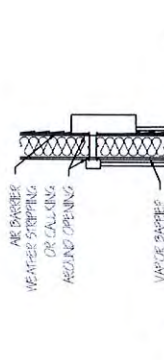
○ OUTLET BOX DETAIL
SCALE 3/8" = 1'-0"



○ FLOOR JOIST DETAIL
SCALE 3/8" = 1'-0"



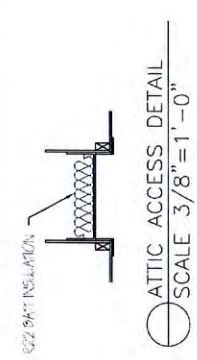
○ TYPICAL WINDOW DETAIL
SCALE 3/8" = 1'-0"



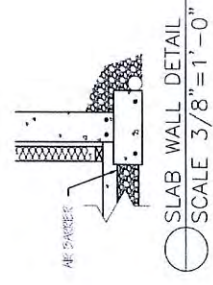
○ TYPICAL WALL OPENINGS
SCALE 3/8" = 1'-0"



○ BASEMENT WALL DETAIL
SCALE 3/8" = 1'-0"



○ ATTIC ACCESS DETAIL
SCALE 3/8" = 1'-0"




○ SLAB WALL DETAIL
SCALE 3/8" = 1'-0"

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 DEVELOPMENT SERVICES
 CITY OF PHOENIX

PROJECT NUMBER		DATE	
PHD18-02		18-07-30	
AS SHOWN		18-08-15	
PROJECT NAME		PROJECT NUMBER	
CEDAR BROOK HOMES		A6.3	
TYPICAL INSULATION DETAILS			

REVISIONS	
#	COMMENTS
1	FOR APPROVAL
2	REVISIONS


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cedarbrook homes

