



NOTICE OF PUBLIC HEARING

January 24, 2023 City Hall, 3:00 PM

BYLAW 6391

535—8 Street South



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Proposal

- Amendment to <u>Land Use Bylaw 6300</u> to rezone the parcels listed above
- From:
 - Downtown Commercial (C-D)

To:

- Direct Control (DC)
- The application has been submitted by Lethbridge Housing Authority

What Does This Mean?

- The proposed Land Use Bylaw amendment will allow the use of the existing building as supportive housing, unrestricted as a permitted use.
- See attached map for land use details.

Relevant Planning Documents

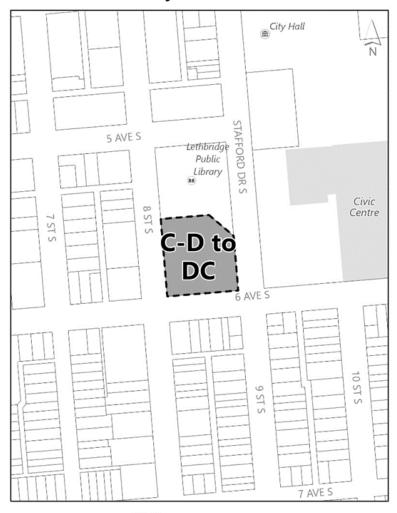
- South Saskatchewan Regional Plan
- Municipal Development Plan
- Downtown Area Redevelopment Plan



Questions Regarding the Bylaw?

Contact: Ross Kilgour, BSc (Hons) MRTPI 403-320-4237 or ross.kilgour@lethbridge.ca

Schedule A PROPOSED LAND USE BYLAW AMENDMENT Bylaw 6391



Amendment Area

LEGAL: Plan 7410383 Block 57 Lot 47 **Municipal Address:** 535 8 St. S **From:** Downtown Commercial (C-D)

To: Direct Control (DC)