



CITY OF  
*Lethbridge*

Office of the City Clerk

August 19, 2019

**RE: NOTICE OF HEARING - SUBDIVISION AND DEVELOPMENT APPEAL BOARD**

An appeal has been filed on the granting of a development permit by the Municipal Planning Commission on August 2, 2019 for the development of a two unit dwelling on a previously developed parcel located at 141 14 Street North.

When an appeal is filed with the Subdivision and Development Appeal Board (SDAB), all persons who own property within 200 feet or 60 meters of the development are notified of the hearing by way of this letter. In addition, the owner of the property will also receive a copy of this letter.

The Subdivision and Development Appeal Board (SDAB) will hold a Public Hearing as follows:

<b>DATE:</b>	<b>Thursday, August 29, 2019</b>
<b>TIME:</b>	<b>5:00 p.m.</b>
<b>LOCATION:</b>	<b>Council Chambers, Main Floor, City Hall 910 – 4 Avenue South</b>

Persons affected by this development have the right to present a written, verbal and/or visual submission to the Board. When making a presentation, keep in mind that in accordance with the legislation that governs the SDAB, the Board can only consider relevant planning matters when rendering its decision. It is recommended that you limit your presentation to five minutes.

If you wish to submit written material to the Board, it should be delivered to the Secretary of the SDAB, no later than 12:00 noon on the Wednesday prior to the hearing. If you are unable to meet this submission deadline, please bring 12 copies of the materials to the Hearing and it will be distributed at the start of the Hearing. Any written and/or visual material received will be made available to the public.

We will be pleased to answer any questions you may have regarding the appeal and can also provide information or advice on Board procedures and how to make presentations to the Board. Please feel free to contact me at 403 329 7329 if you have any questions.

Yours truly,

David Sarsfield  
Board Secretary,  
Subdivision and Development Appeal Board



CITY OF  
*Lethbridge*

## NOTICE OF A SUBDIVISION AND DEVELOPMENT APPEAL BOARD HEARING

**DATE:** Thursday, August 29, 2019

**PLACE:** Council Chambers, 1<sup>st</sup> Floor  
City Hall - 910 - 4<sup>th</sup> Avenue South

**TIME:** 5:00 p.m.

### **AGENDA:**

1. CALL TO ORDER

### **PRESENTATIONS:**

- 2.1 5:00 p.m.  
SDAB No. 2019-08  
APPEAL OF DEVELOPMENT PERMIT 11392

Appellant: Westminster Village Committee.

Address: 141 14 Street North

To develop a two unit dwelling on a previously developed parcel

**Land Use District: R-L, Low Density Residential District**

**From:** Darlene McLean [<mailto:frivory@telusplanet.net>]

**Sent:** Tuesday, August 13, 2019 11:14 AM

**To:** David Sarsfield <[David.Sarsfield@lethbridge.ca](mailto:David.Sarsfield@lethbridge.ca)>

**Subject:** re: appeal decision to approve app# DEV11392

Westminster Village Committee has decided to appeal the decision put forth on July 30, 2019 (at MPC) for address # 141-14 street north. We agree with the position of the community planning department, and some residents.

Darlene McLean

landuse committee for WVC

Westminster Village Committee, 210A-12A Street North, Lethbridge, AB T1H 2J1.

Email responses to : [wvc@shaw.ca](mailto:wvc@shaw.ca) are best and get to more members sooner.

With holidays and all, at this time, the best phone number is: 403 328-8602.





CITY OF  
*Lethbridge*

Land Use Bylaw 5700  
**DEVELOPMENT PERMIT**

**PERMIT NO.  
DEV11392**

Address: **141 14 ST N**  
Legal: 625C;B;28,29

District: R-L(W)

Applicant: GOLOM, YOHANES KIDNE  
GOLOM, TZEKA GRACE  
Address: 244 SIXMILE COMMON S LETHBRIDGE AB T1K 5S7

Phone: 403-320-2981  
Phone:

**Development Proposed** A request to develop a two-unit dwelling on a previously developed parcel. The four (4) required off-street parking stalls will be provided.

**District** R-L LOW DENSITY RESIDENTIAL

**Land Use** DWELLING, TWO UNIT - DISCRETIONARY

**CONDITIONS OF APPROVAL**

1. The dwelling shall be developed in accordance with the plans submitted June 14, 2019, and as updated August 2, 2019 with the removal of the basement entries. Any changes to these plans require the approval of the Development Officer.
2. A minimum of four off-street parking spaces (2 per unit) shall be provided and maintained at all times.
3. The exterior appearance of the dwelling shall be in accordance with the plans submitted June 14, 2019, and as updated August 2, 2019, to the satisfaction of the Development Officer.

**Decision Date**

Aug 02, 2019

**Valid Date**

Aug 27, 2019

**Development Commencement**

Provided this decision is not appealed, development shall commence:

- on or after the valid date, and
- within one year of the valid date.

Development may commence before the valid date only if the applicant has signed the "Voluntary Waiver of Claims" and is in receipt of this signed permit.

**Development Authority**

  
\_\_\_\_\_  
JOSHUA BOURELLE, DEVELOPMENT OFFICER

**STATUTORY PLANS**

The SSRP and applicable municipal statutory plans were considered in rendering this decision.

**APPEALS**

The applicant has the right to appeal this decision to the Subdivision and Development Appeal Board. An appeal shall contain a statement of the grounds of appeal and shall be delivered either personally or by Registered Mail so as to reach the Secretary of the Subdivision and Development Appeal Board not later than twenty-one (21) days after the decision date indicated on the Development Permit or 'Development Permit Application - Refused' letter.

**FOIP**

The personal information provided as part of this permit is collected under the Alberta Municipal Government Act and in accordance with section 33(c) of the Freedom of Information and Protection of Privacy Act. The information is required and will be used for issuing permits, Land Use By-law 5700 compliance verification and monitoring, and property assessment purposes. The name of the permit holder and the nature of the permit is available to the public upon request and may be revealed in public appeal processes.

If you have questions about the collection or use of the personal information provided, please contact Information Management at 910 4 Ave S Lethbridge, AB, T1J 0P6 or phone at (403) 329-7329, or email [developmentsservices@lethbridge.ca](mailto:developmentsservices@lethbridge.ca).

**Permit No. DEV11392**



**City of Lethbridge**

**Planning and  
Development  
Services**

910 - 4<sup>th</sup> Avenue South  
Lethbridge, AB  
T1J 0P6

General #: 403-320-3920  
Inspection #: 403-320-3830  
Fax #: 403-327-6571

**Development Permit Application**

LAND USE BYLAW 5700 - FORM A

BP \_\_\_\_\_  
DEV 11392

Project Address: \_\_\_\_\_

Unit / Bay # \_\_\_\_\_

Civic Address 141 14 st. north

Date: \_\_\_\_\_

Access Code: \_\_\_\_\_

**Property Owner**

Applicant

Name: YOHANNES Golom Paid

Address: 244 Sitemilo common  
South Lethbridge

Phone: 403 330 7057 Fax: \_\_\_\_\_

Signature: [Signature]

**Land Owner Consent**

The owner of this property knows the full details of the proposed development and knows I am making this development application.

Yes  No

**Applicant**

Applicant

Name: same as above Paid

Address: \_\_\_\_\_

Phone: \_\_\_\_\_ Fax: \_\_\_\_\_

Signature: \_\_\_\_\_

Email: yo.hannes.golom@gmail.com

**\*\* Providing an email address means you consent to receive all documents via this address. Please ensure accuracy \*\***

B/L #: \_\_\_\_\_

**Details of Proposed Development**

New 2 unit Dwelling  
on a previously developed  
parcel with covered deck  
& cov verandah.  
4 off street parkings stalls

R-L (u). Lot - 588.32m<sup>2</sup>

1100 + 50 = 1150.00

**Be Advised**

Although the Development Officers of the City of Lethbridge are in a position to advise on the principle or details of proposals, such advice must not be taken in any way as an official consent, and is without prejudice to the decision in connection with the formal application. It must be clearly understood that the applicant shall not proceed with the development based on comments made by the Development Officers prior to the issuing of a development permit.

**Confirmation**

The information I have provided herein and herewith is true, and to the best of my knowledge and abilities, accurate and complete.

Signature: [Signature]

Date: June 14 2019

Version Date: December 27, 2017





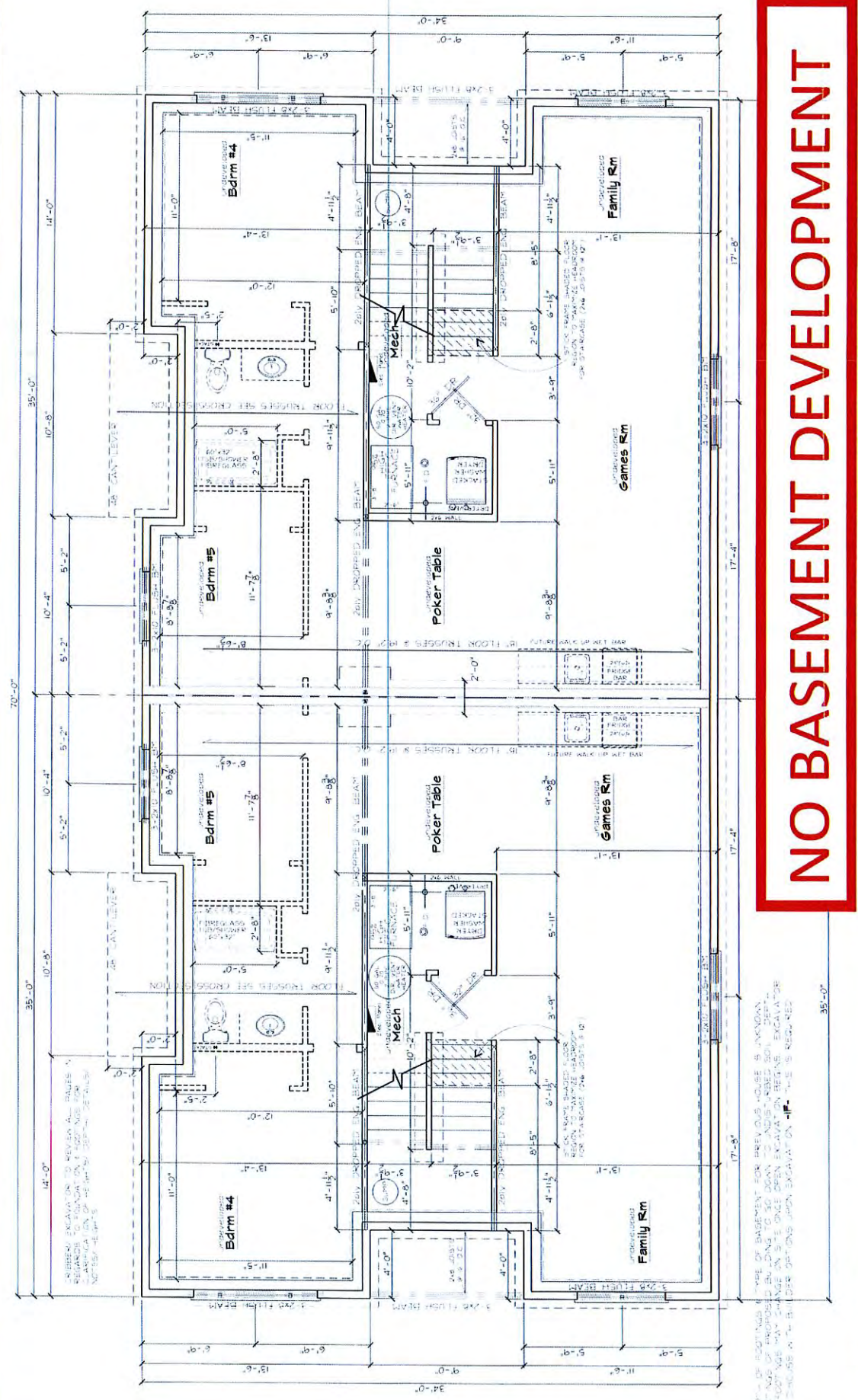










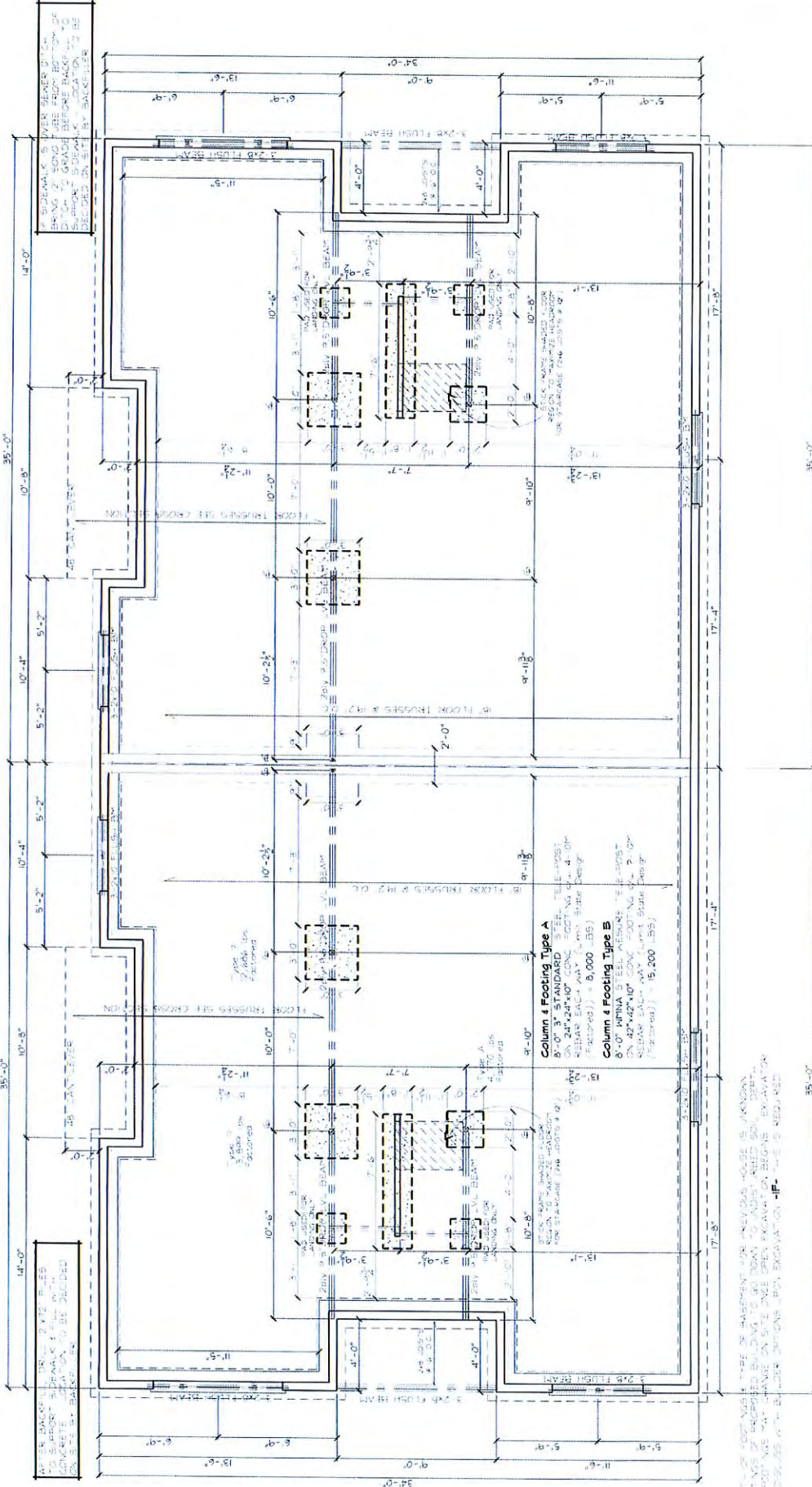


NO BASEMENT DEVELOPMENT

CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE AND NOTIFY TS DRAFTING & DESIGN LTD. OF ANY DIMENSIONAL ERRORS, GRADE REQUIREMENTS, DISCREPANCIES BEFORE BEGINNING OR FABRICATING ANY WORK.  
 TS Drafting & Design Ltd. Office: 409-442-1774 Call: 409-860-7992 email: tsdrafting@shaw.ca web: tsdrafting.ca  
 Lower Floor Plan / Date: 5/16/11 / Scale: 1/8" = 1'-0" / Project: #141 - 14th Street N. / Address: 141 - 14th Street N. / City: Vancouver, BC / Province: BC / Country: Canada  
 Plans/blueprints to be verified by home owner/purchaser and/or project/construction manager before construction begins. All trades & workmanship to conform to national, provincial and municipal building codes, practices and city by-laws.



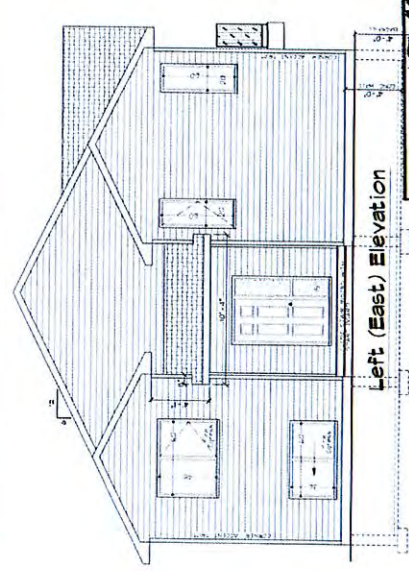
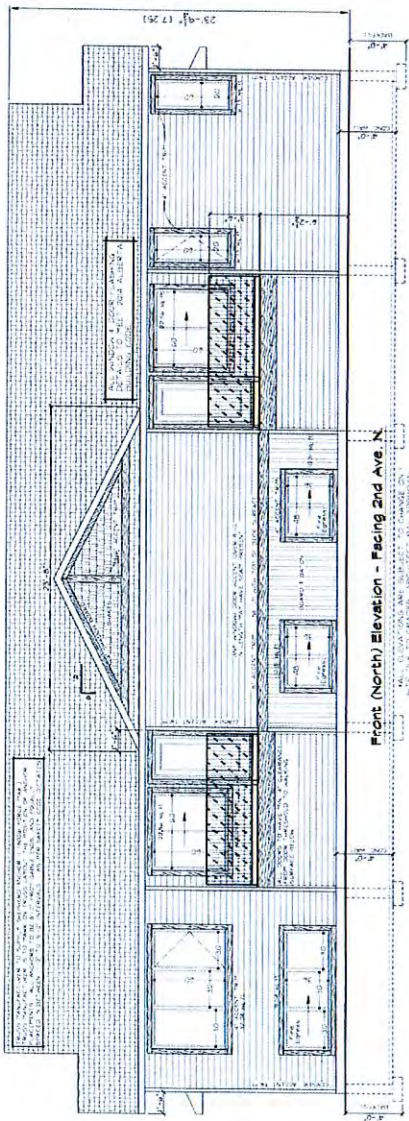
CURRENT EXCAVATION TO REVEAL ALL RANGES IN  
REGARDS TO DIMENSIONAL FOOTING FOUNDATION  
NOTES INCLUDE:



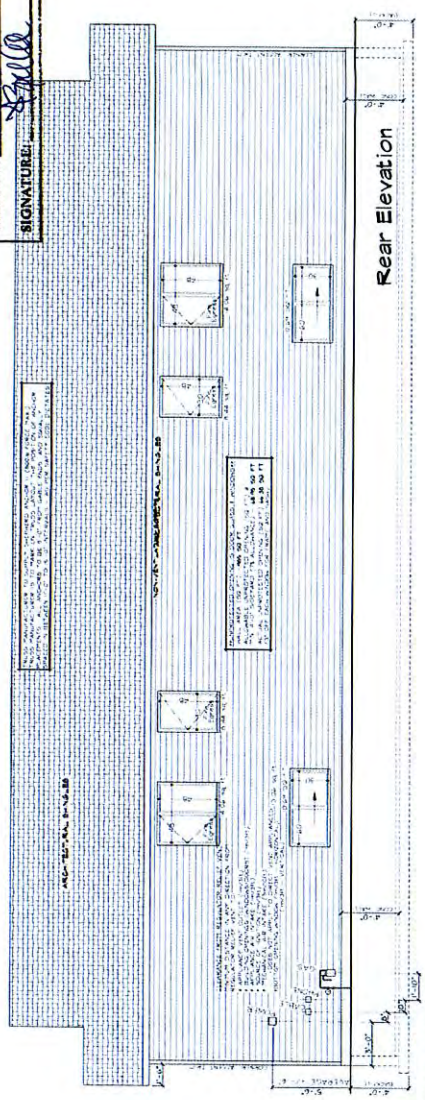
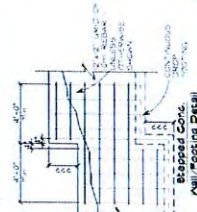
CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE AND NOTIFY THE DRAFTING DESIGNER OF ANY DIMENSIONAL ERRORS, GRADE REVISIONS, OR ISSUES OR DISCREPANCIES BEFORE BEGINNING ON-SITE WORK.  
ANY DIMENSIONAL ERRORS, GRADE REVISIONS, OR ISSUES OR DISCREPANCIES SHOULD BE REPORTED TO THE ARCHITECT IMMEDIATELY.  
TS Drafting & Design Ltd. Office: 408-442-1974 Cell: 408-960-1552 email: tsdrafting@tsd.ca web: tsdrafting.ca  
Date: 9/16/11-01/2014 July 31, 2014

Plans/blueprints to be verified by home owner/purchaser and/or project/construction manager before construction begins. All trades & workmanship to conform to national, provincial and municipal building codes, practices and city by-laws.





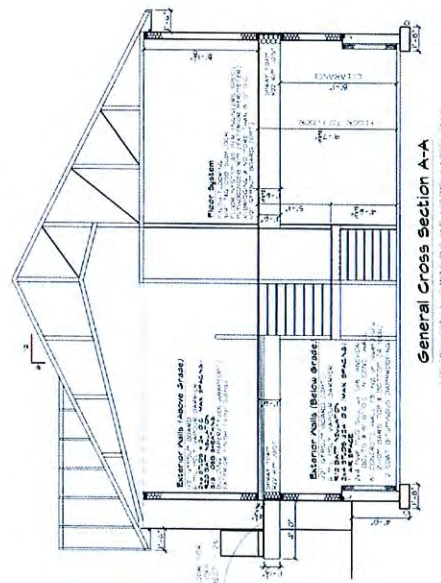
ALL VERTICAL DIMENSIONS ARE APPROXIMATE ONLY. DIMENSIONS ARE BELIEVED TO BE ACCURATE BUT MAY VARY DEPENDING ON CERTAIN ON-SITE CONDITIONS AND/OR CONSTRUCTION METHODS.



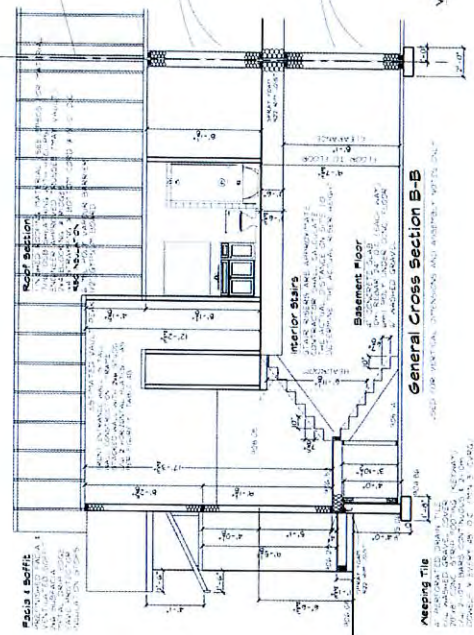
CITY OF *Edinburg*  
**APPROVED AS PER**  
**LAND USE BYLAW 5700**  
 AUG 02 2019  
 PERMIT #: **DEV1139A**  
 SIGNATURE: *[Signature]*

CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE AND NOTIFY THE DRAFTING & DESIGN CO. OF ANY DIMENSIONAL ERRORS IMMEDIATELY UPON DISCOVERY OF SUCH ERRORS BEFORE BEING PERMITTED TO PROCEED WITH ANY WORK.  
 TS Drafting & Design Ltd. Office: 409-442-1974 Cell: 409-560-7592 email: tsdrafting@shaw.ca web: tsdrafting.ca  
 July 31, 2019  
 Address: #141 - 14th Street N  
 Integrity Home Renovations  
 Plans/blueprints to be verified by home owner/purchaser and/or project/construction manager before construction begins. All trades & workmanship to conform to national, provincial and municipal building codes, practices and city by-laws.

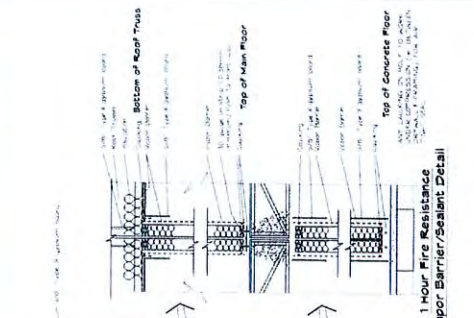




General Cross Section A-A  
SEE FOR VERTICAL FINISHING AND MATERIAL NOTES ON P. 10'

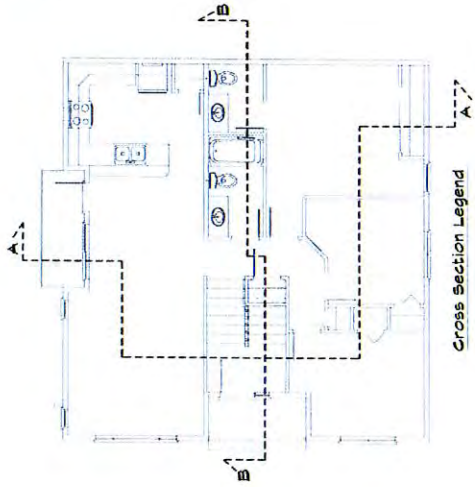


General Cross Section B-B  
SEE FOR VERTICAL FINISHING AND MATERIAL NOTES ON P. 10'



1 Hour Fire Resistance Vapor Barrier/Sealant Detail

OWNER OR ARCHITECTS I HAVE OR BELIEVE TO HAVE REVIEWED THESE PLANS AND SPECIFICATIONS BEFORE BEING OR ASKING ANY ARCHITECT, ENGINEER, CONTRACTOR OR SUBCONTRACTOR TO CONSTRUCT OR SUPERVISE THE CONSTRUCTION OF THE PROJECT. I HAVE NOT CONDUCTED AN INDEPENDENT VERIFICATION OF THE ACCURACY OF THE INFORMATION CONTAINED HEREIN. I AM NOT PROVIDING ANY WARRANTY, EXPRESS OR IMPLIED, FOR THE INFORMATION CONTAINED HEREIN. I AM NOT PROVIDING ANY WARRANTY, EXPRESS OR IMPLIED, FOR THE INFORMATION CONTAINED HEREIN. I AM NOT PROVIDING ANY WARRANTY, EXPRESS OR IMPLIED, FOR THE INFORMATION CONTAINED HEREIN.



Cross Section Legend

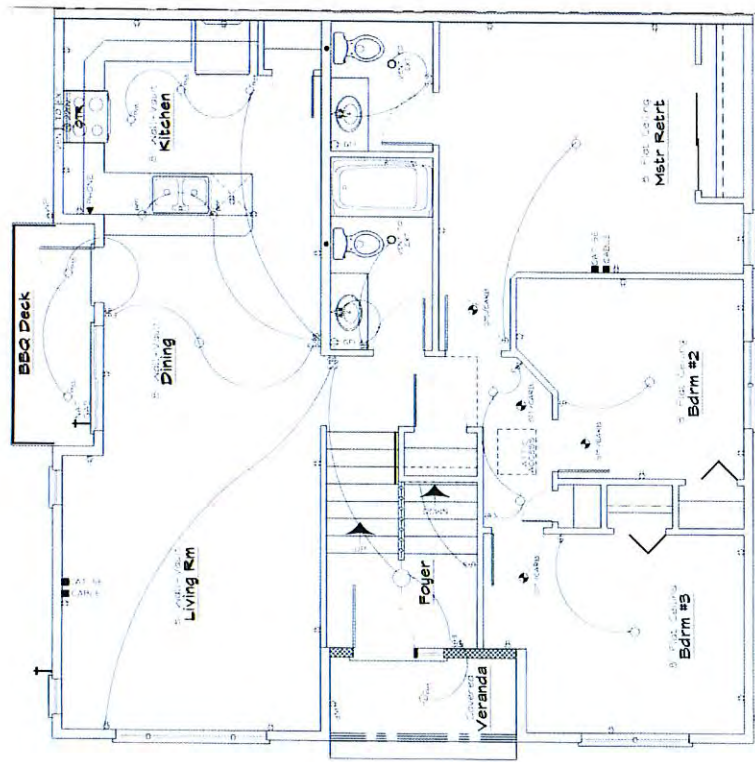
**Non-Framing Requirements**

**Trim Framing Requirements**

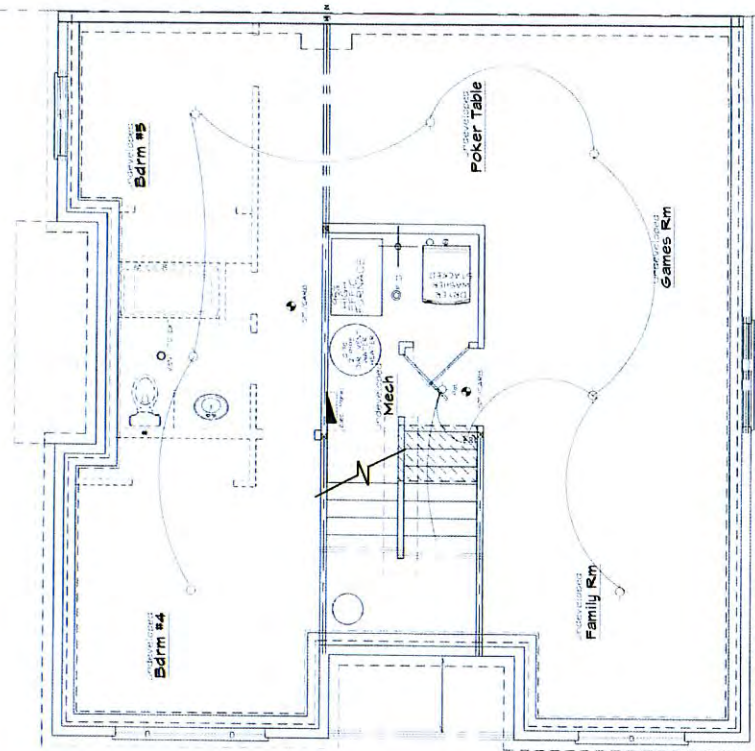
**Trimming above Window Openings**

**Framing Below Window Openings**

**Minimum Rafter/Joist Spacing**



Main Floor Electrical

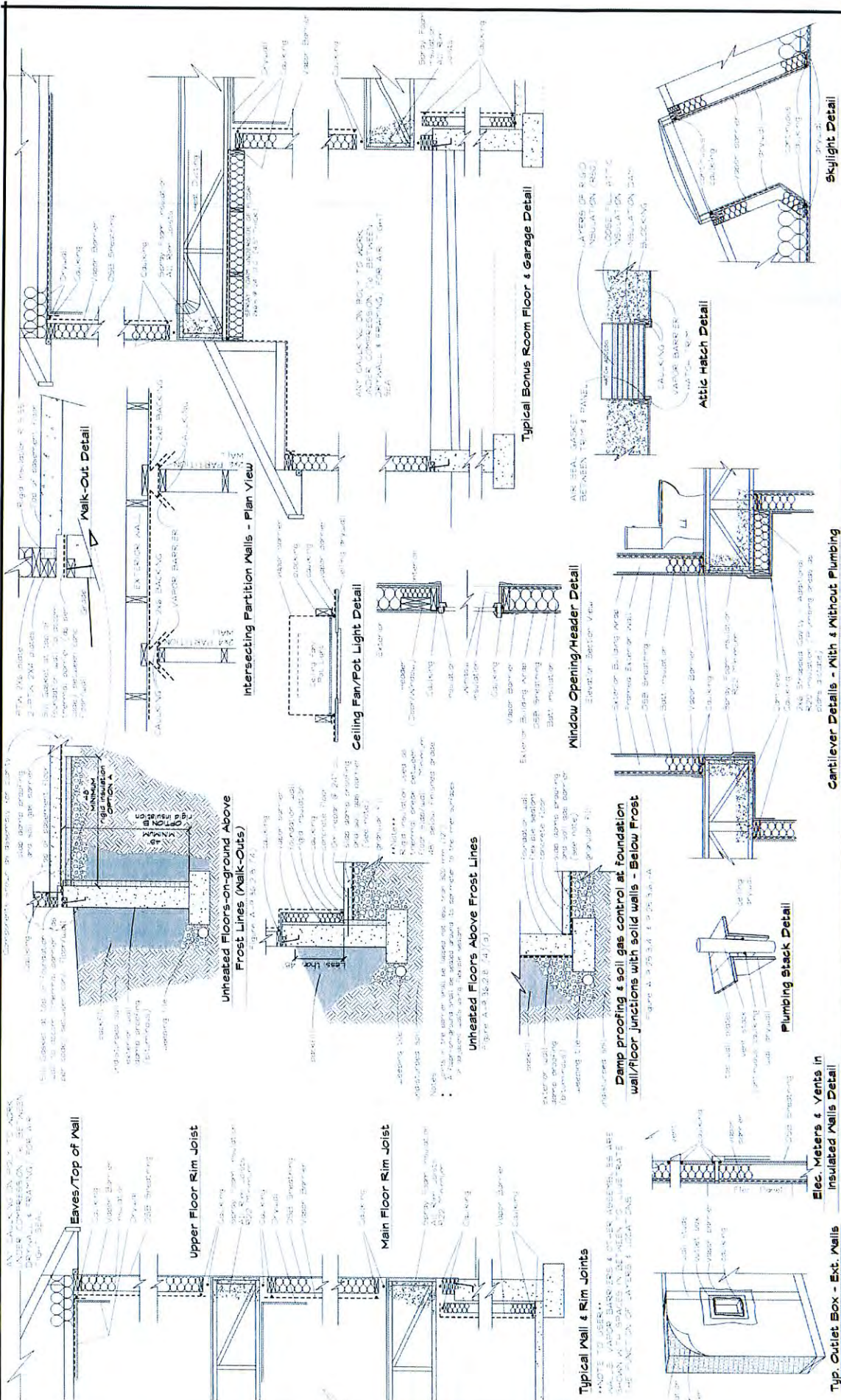


Lower Floor Electrical

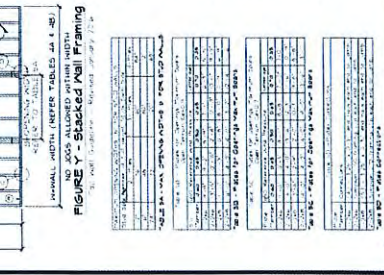
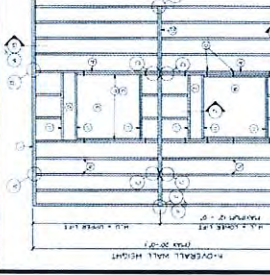
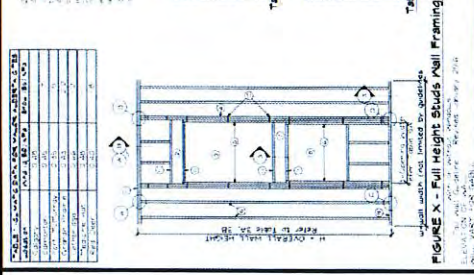
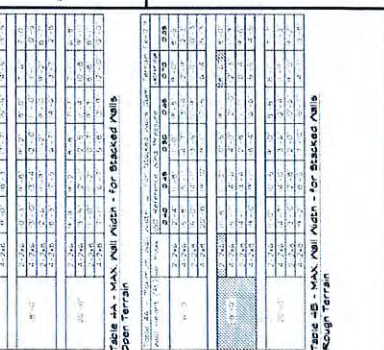
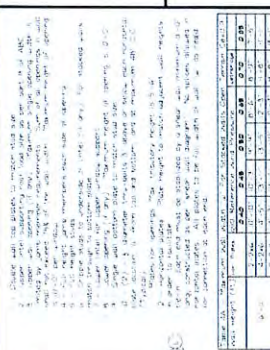
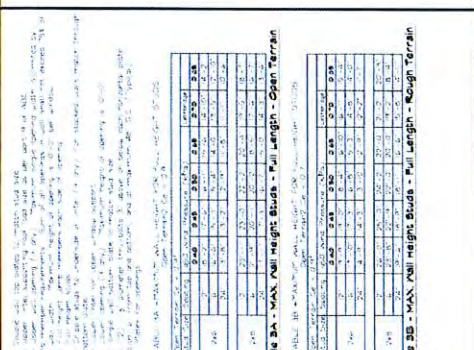
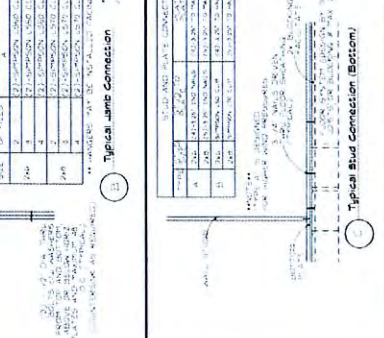
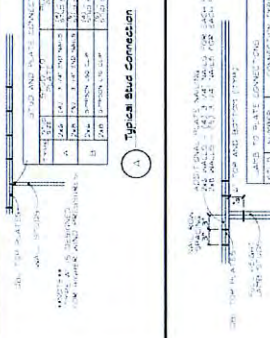
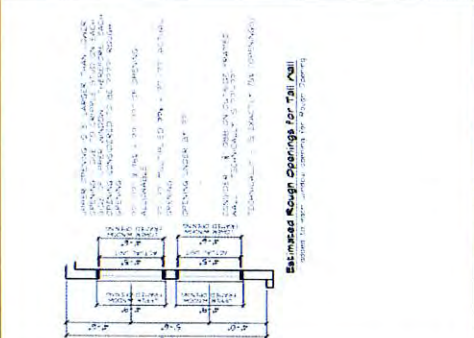
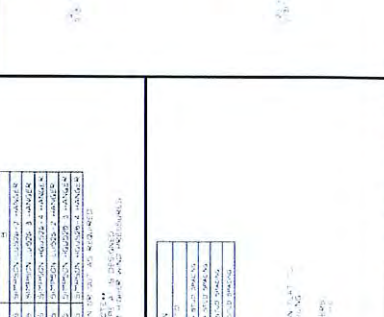
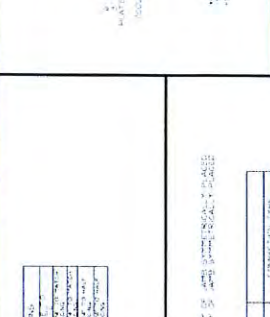
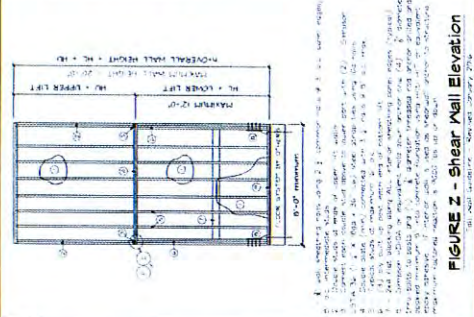
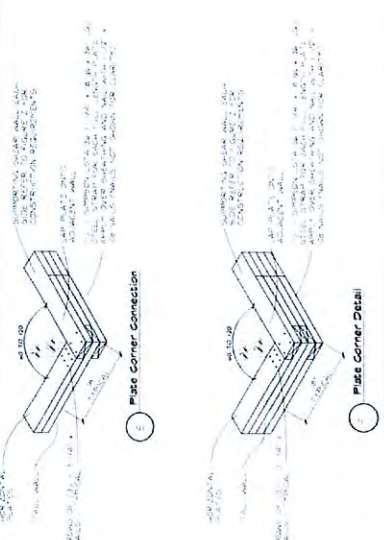
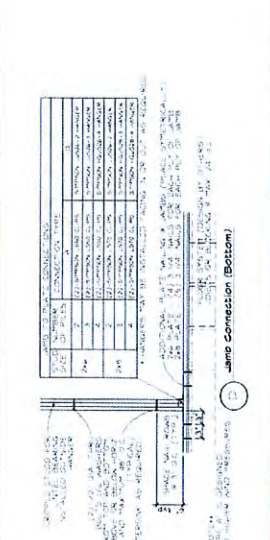
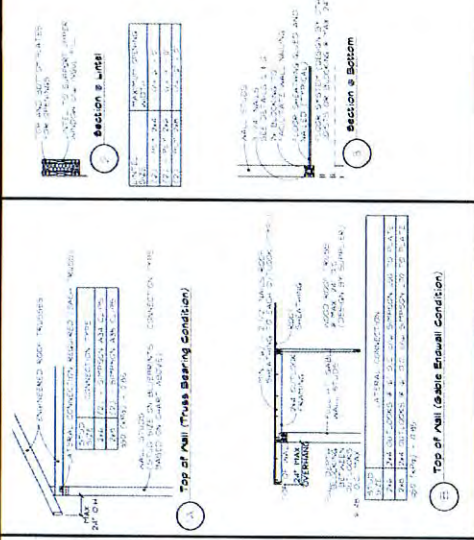
SYMBOL	DESCRIPTION
▲	Electrical Panel
■	Light Fixture
○	Outlet
□	Switch
◇	Recessed Light
▽	Door
○	Window
○	Stair
○	Handicap Accessible
○	Smoke Detector
○	Carbon Monoxide Detector
○	Fire Alarm
○	Security Camera
○	Intercom
○	TV Mount
○	Speaker
○	Telephone
○	Internet
○	Other

- Electrician to walk through with general contractor/home owner at time of rough in to verify location type and style of fixtures.
- All electrical to follow Electrical Building Code practices.
- Electrical items shown are for basic install. Special features or requests are responsibility of home owner to inform electrician.

















# Subdivision & Development Appeal Board

APPLICATION NO.  
**DEV11392**

LAND USE DISTRICT  
R-L Low Density  
Residential District

LOCATION  
141 14 Street North

APPEALANT  
Westminster Village Committee

LANDOWNER  
Yohanes Golom

PROPOSED DEVELOPMENT

**Appendix A: Drawings**

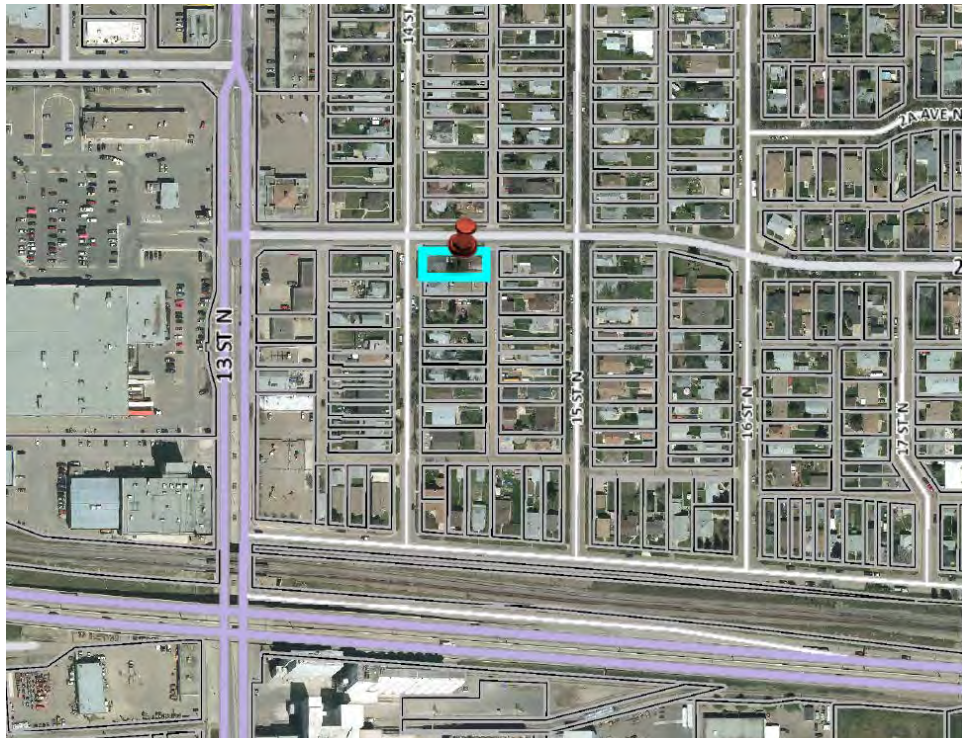
A request to develop a two-unit dwelling on a previously developed parcel. The four (4) required off-street parking stalls will be provided.

CURRENT DEVELOPMENT  
Single Detached Dwelling

ADJACENT DEVELOPMENT

North	Single Detached Dwelling
South	Single Detached Dwelling
East	Single Detached Dwelling
West	Single Detached Dwelling

CONTEXT MAP





# Subdivision & Development Appeal Board

## LAND USE BYLAW SUMMARY

Use: Dwelling, Two unit

Discretionary

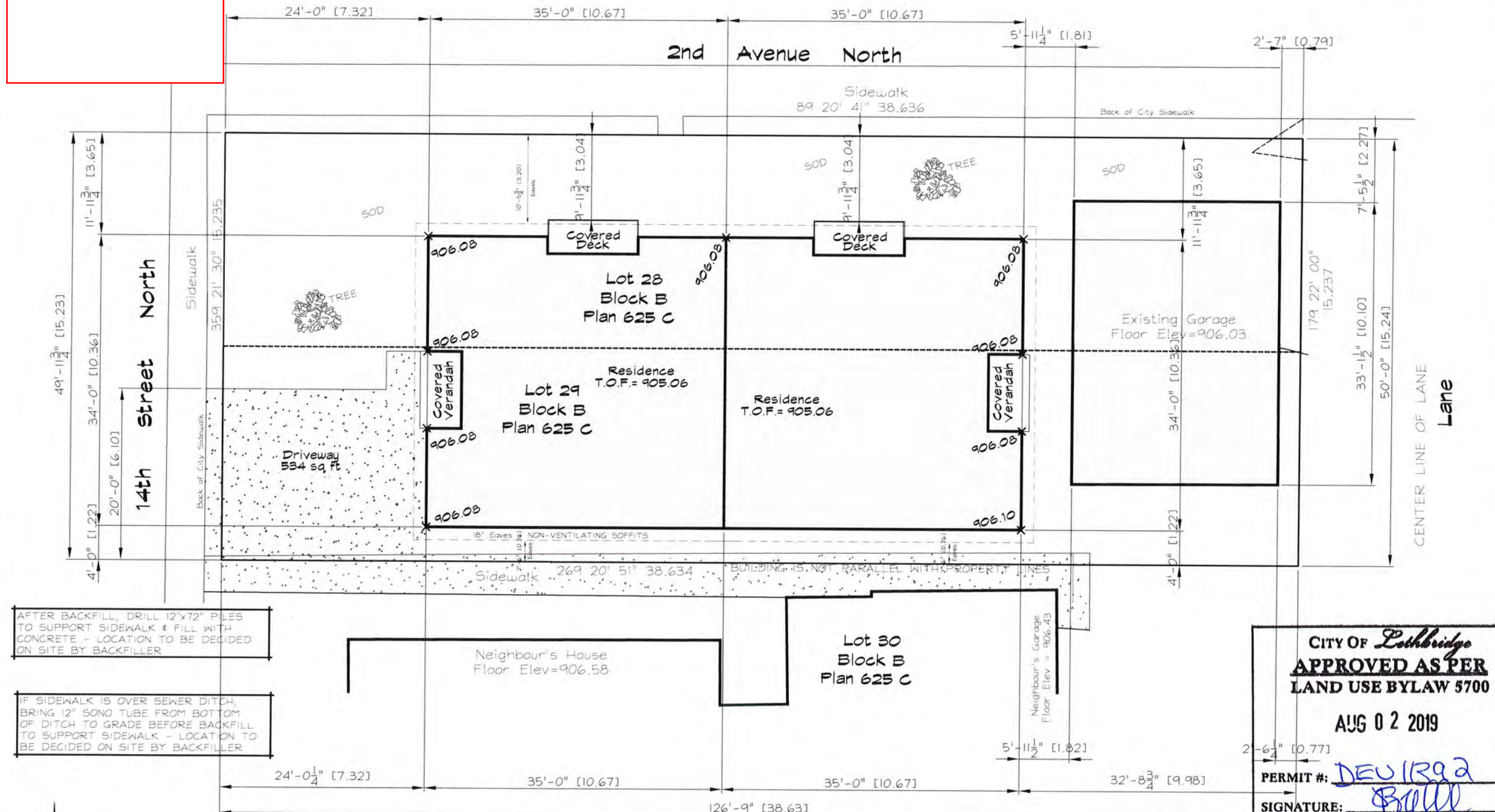
	<b>Requirement</b>	<b>Requested</b>	<b>Waiver Requested</b>
<b>Parcel size</b>	464.5m <sup>2</sup>	588.32m <sup>2</sup>	N/A
<b>Height</b>	10.0m maximum	7.25m	N/A
<b>Setbacks</b>			
<b>Separation Distance</b>	1.20m minimum	1.81m	N/A
<b>Long front</b>	3.0m minimum	3.04m	N/A
<b>Short Front</b>	6.0m minimum	7.32m	N/A
<b>Side 1</b>	1.2m minimum	1.22m	N/A
<b>Side 2</b>	1.2m minimum	9.98	N/A
<b>Eave Projection</b>	0.60m minimum from side and rear property lines	0.76m from side/rear property line	N/A
<b>Parcel Coverage Maximum (detached garage)</b>	14% Maximum	12.69%	N/A

<b>Context</b>	This application is before SDAB as it has been appealed by the Westminster Village Committee.
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Appendix "A"  
DEV11392

LANDSCAPING FEATURES AS PER ARCHITECTURAL CONTROL GUIDELINES DICTATE (IF ANY)



AFTER BACKFILL, DRILL 12"x72" PILES TO SUPPORT SIDEWALK & FILL WITH CONCRETE - LOCATION TO BE DECIDED ON SITE BY BACKFILLER

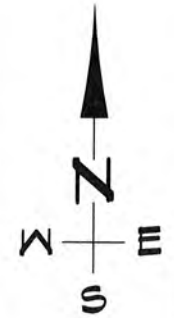
IF SIDEWALK IS OVER SEWER DITCH, BRING 12" SONO TUBE FROM BOTTOM OF DITCH TO GRADE BEFORE BACKFILL TO SUPPORT SIDEWALK - LOCATION TO BE DECIDED ON SITE BY BACKFILLER

**CITY OF Lethbridge**  
**APPROVED AS PER**  
**LAND USE BYLAW 5700**

**AUG 02 2019**

PERMIT #: **DEV1392**

SIGNATURE: *[Signature]*



Site Description	Area <sup>sq ft</sup>	Percent
LOT ZONING CLASSIFICATION	R-1(W)	
LOT AREA	6,333	
PRINCIPAL BUILDING	2266	
GARAGE (DETACHED OR ATT.)	804	
FRONT VERANDA	72	
REAR DECK (TOTAL DECK AREA)	86	
TOTAL AREA	3228	50.97%

DECKS & VERANDA STAIRS, LANDINGS, COVERED PATIO AREAS ARE NOT INCLUDED AREAS

DEPTH OF FOOTINGS & TYPE OF BASEMENT FOR PREVIOUS HOUSE IS UNKNOWN. FOOTINGS OF PROPOSED BUILDING TO GO DOWN TO UNDISTURBED SOIL. DEPTH OF FOOTINGS MAY CHANGE ON SITE ONCE OPEN EXCAVATION BEGINS. EXCAVATOR TO DISCUSS WITH BUILDER OPTIONS UPON EXCAVATION -IF- THIS IS REQUIRED.

Site Plan - Dimensions -

Elevation Description	Elevation
HIGHEST ROOF PEAK	7.25
TOP OF MAIN FLOOR	908.08
TOP OF HOUSE CONC. WALL	906.28
TOP OF HOUSE FOOTING (FRONT)	905.06
TOP OF GARAGE CONC. WALL	n/a
TOP OF GARAGE FOOTING (FRONT)	n/a
SANITARY SEWER INVERT	???.??
LOWEST TOP OF FOOTING	???.??
LOWEST BOTTOM OF FOOTING	???.??

GRADING GUIDELINES (AS CALCULATED FROM THE AREA'S LOT GRADING PLAN) - MIN. 10% AWAY FOR THE FIRST 2m AROUND THE BUILDING, MINIMUM 2% THEREAFTER (MAY BE MORE THAN 2%) - MIN. 0.15m (6") AWAY WHERE DISTANCE TO PROPERTY IS LESS THAN 2m (E 4'-0" SIDE YARD)

\* IN THE EVENT WHERE THE MINIMUM FRONT AND REAR GRADES ARE DETERMINED BY THE DEVELOPER AND / OR LAND SURVEYOR, THESE DETERMINED GRADES WILL BE USED.

TS Drafting & Design Ltd. Office: 403-942-1974 Cell: 403-360-7592 email: tsdrafting@shaw.ca web: tsdrafting.ca

Subdivision - Phase  
Lot 28, 29, Block B  
Plan # 625C

\*\*NOTE\*\* PLOT PLAN IS PRINTED 1 : 150 METRIC SCALE

#141 - 14th Street N.

SAN = ????  
LTF = ????  
O.G. = ????

\* Any grades that do not comply with approved stamped grades set by Architect, Architectural Controller, Design Review Committee OR Local Authority may result in the use and/or construction of retaining walls. This will be the responsibility of the home builder/purchaser

\* If neighboring grades of existing structures, buildings and/or construction projects prevent the proposed grades for the above property to be possible, the home builder/owner of the above mentioned property is responsible for notifying the owners of neighboring properties in attempt for resolution

\* Any estimated grades are based on KNOW grades supplied by land developer or surveyor. "Est." grades may be modified to accommodate neighboring or existing grades

\* Any concrete floor (Basement or garage) to be on a minimum of 6" compacted gravel fill on undisturbed soil. Some walkout lots have inappropriate engineered fill and may require more gravel.

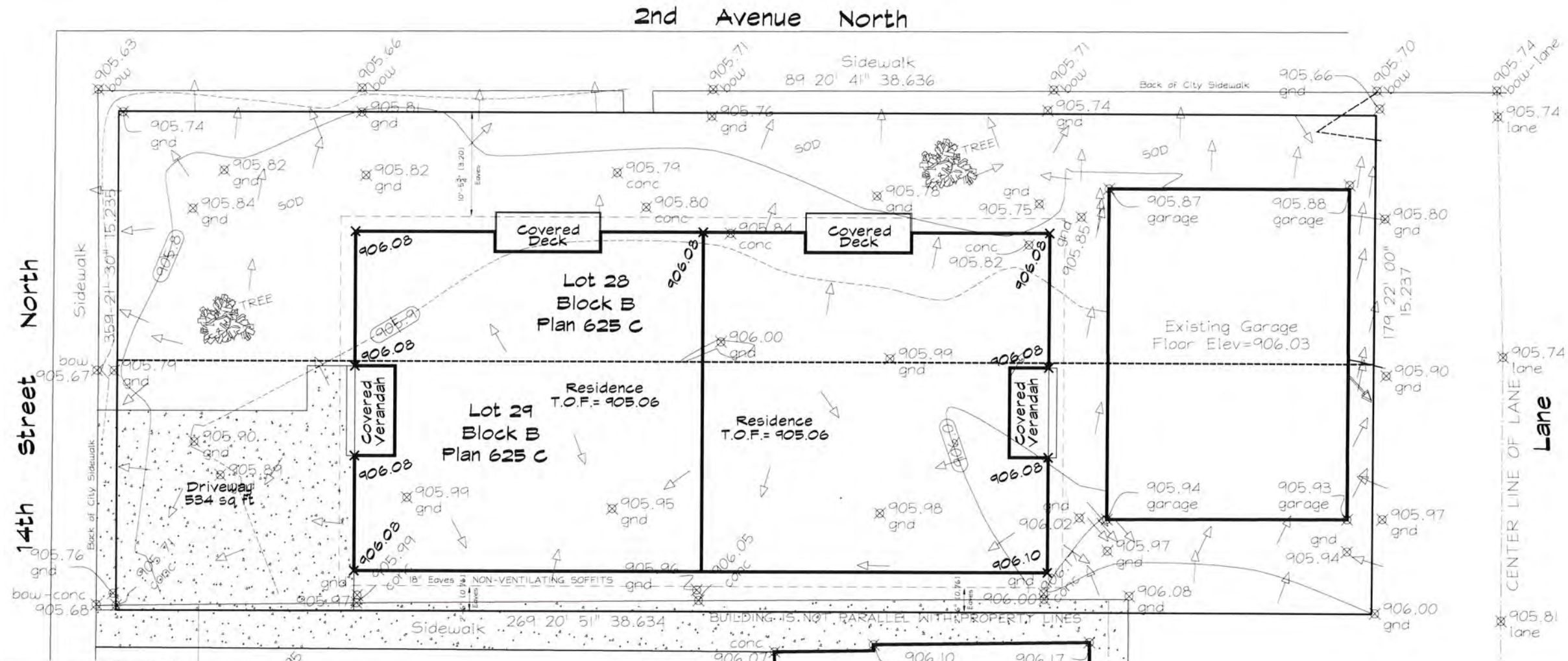
\* Grades around residence/garage are set as "finished" grades - and are based on engineered surveyed grades supplied by land developer and/or surveyor

\* If soil is disturbed at Bottom of Footing level, excavator may be required to continue excavation until soil is undisturbed and proper soil bearing is achieved.

\* T.O.F. = Top of Footing



LANDSCAPING FEATURES AS PER ARCHITECTURAL CONTROL GUIDELINES DICTATE (IF ANY)



AFTER BACKFILL, DRILL 12"x72" PILES TO SUPPORT SIDEWALK & FILL WITH CONCRETE - LOCATION TO BE DECIDED ON SITE BY BACKFILLER

IF SIDEWALK IS OVER SEWER DITCH, BRING 12" SONO TUBE FROM BOTTOM OF DITCH TO GRADE BEFORE BACKFILL TO SUPPORT SIDEWALK - LOCATION TO BE DECIDED ON SITE BY BACKFILLER

DEPTH OF FOOTINGS & TYPE OF BASEMENT FOR PREVIOUS HOUSE IS UNKNOWN. FOOTINGS OF PROPOSED BUILDING TO GO DOWN TO UNDISTURBED SOIL. DEPTH OF FOOTINGS MAY CHANGE ON SITE ONCE OPEN EXCAVATION BEGINS. EXCAVATOR TO DISCUSS WITH BUILDER OPTIONS UPON EXCAVATION -IF- THIS IS REQUIRED.



Site Description	Area <sup>sq ft</sup>	Percent
LOT ZONING CLASSIFICATION	R-L(W)	
LOT AREA	6,333	
PRINCIPAL BUILDING	2266	
GARAGE (DETACHED OR ATT.)	804	
FRONT VERANDA	72	
REAR DECK (TOTAL DECK AREA)	86	
TOTAL AREA	3228	50.97%

DECKS & VERANDA STAIRS, LANDINGS, COVERED PATIO AREAS ARE NOT INCLUDED AREAS

Site Plan - Lot Grading

Elevation Description	Elevation	
HIGHEST ROOF PEAK	7.25	
TOP OF MAIN FLOOR	908.08	
TOP OF HOUSE CONC. WALL	906.28	B.O.F. =
TOP OF HOUSE FOOTING (FRONT)	905.06	904.86
TOP OF GARAGE CONC. WALL	n/a	B.O.F. =
TOP OF GARAGE FOOTING (FRONT)	n/a	n/a
SANITARY SEWER INVERT	???.??	
LOWEST TOP OF FOOTING	???.??	
LOWEST BOTTOM OF FOOTING	???.??	

GRADING GUIDELINES: (AS CALCULATED FROM THE AREA'S LOT GRADING PLAN) - MIN 10% AWAY FOR THE FIRST 2m AROUND THE BUILDING, MINIMUM 2% THEREAFTER (MAY BE MORE THAN 2%). MIN 0.5m (6") AWAY WHERE DISTANCE TO PROPERTY IS LESS THAN 2m (6'-0" SIDE YARD)  
 \* IN THE EVENT WHERE THE MINIMUM FRONT AND REAR GRADES ARE DETERMINED BY THE DEVELOPER AND / OR LAND SURVEYOR, THESE DETERMINED GRADES WILL BE USED

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 Subdivision - Phase B  
 Lot 28, 29, Block B  
 Plan # 625C

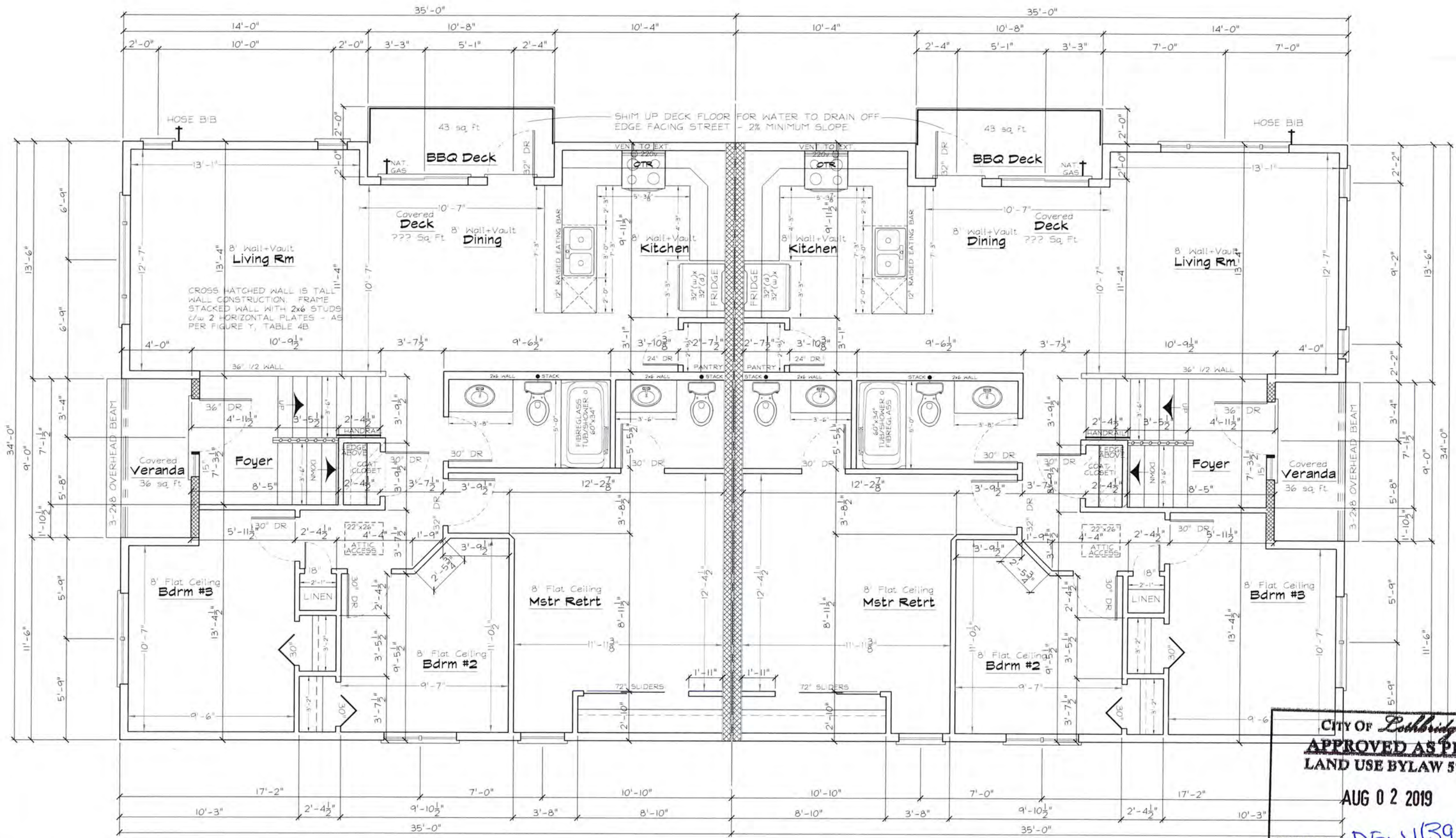
SAN = ????  
 LTF = ????  
 O.G. = ????

\*\*NOTE\*\* PLOT PLAN IS PRINTED 1 : 150 METRIC SCALE

#141 - 14th Street N.

Any grades that do not comply with approved stamped grades set by Architect, Architectural Contraller, Design Review Committee OR Local Authority may result in the use and/or construction of retaining walls. This will be the responsibility of the home builder/purchaser.  
 \* If neighboring grades of existing structures, buildings and/or construction projects prevent the proposed grades for the above property to be possible, the home builder/owner of the above mentioned property is responsible for notifying the owners of neighboring properties in attempt for resolution.  
 \* Any estimated grades are based on KNOW grades supplied by land developer or surveyor. "Est." grades may be modified to accommodate neighboring or existing grades.  
 \* Any concrete floor (Basement or garage) to be a minimum of 6" compacted gravel fill on undisturbed soil. Some walkout lots have inappropriate engineered fill and may require more gravel.  
 \* Grades around residence/garage are set as "finished" grades - and are based on engineered surveyed grades supplied by land developer and/or surveyor.  
 \* If soil is disturbed at Bottom of Footing level, excavator may be required to continue excavation until soil is undisturbed and proper soil bearing is achieved.  
 \* I.O.F. = Top of Footing





CITY OF *Lothbridge*  
**APPROVED AS PER**  
**LAND USE BYLAW 5700**

**AUG 02 2019**

PERMIT #: *DEU1392*  
 SIGNATURE: *Bulla*

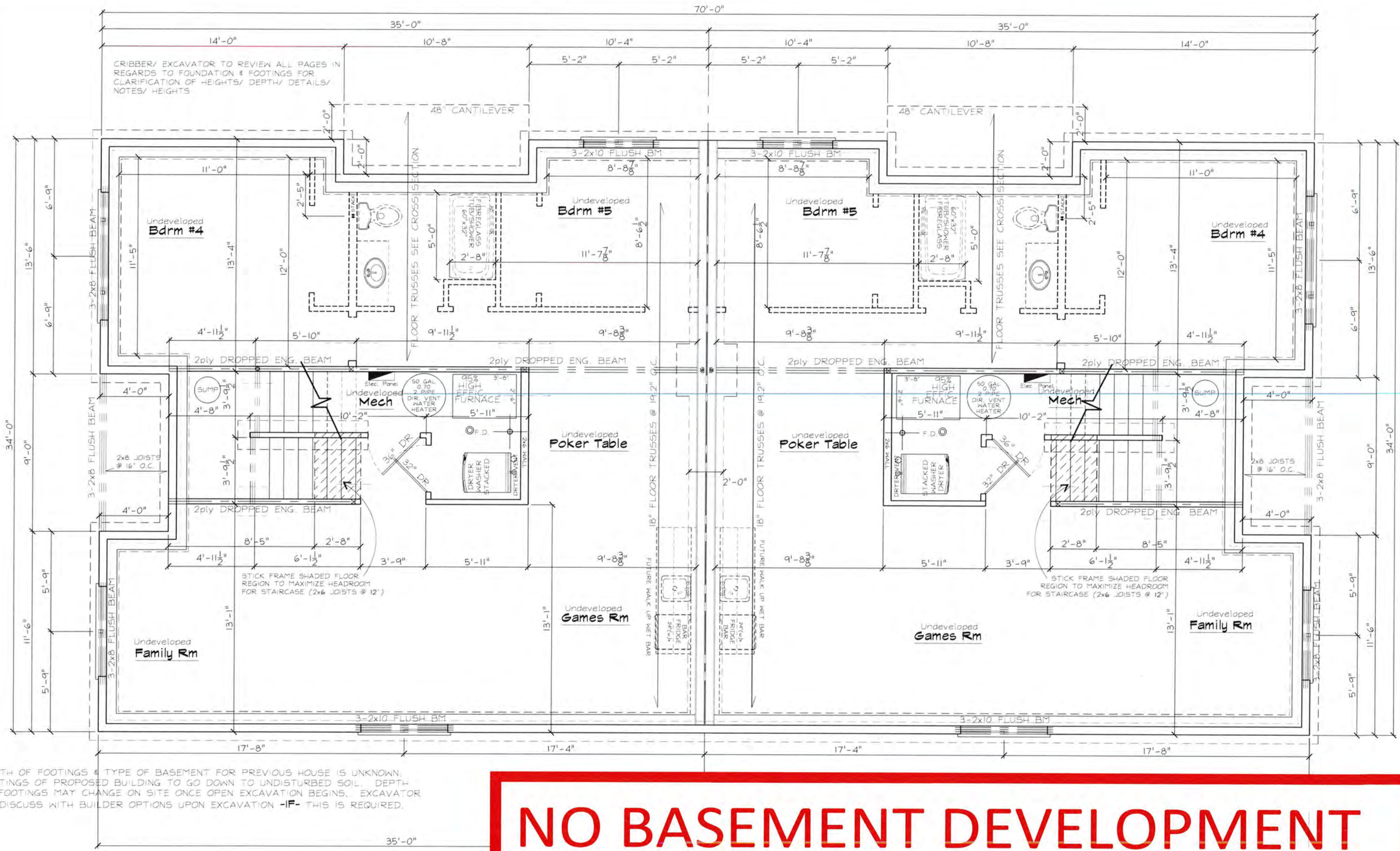
**\*\*NOTE TO FRAMER\*\***  
 - ANY EXTERIOR DOOR OR WINDOW EQUAL TO OR LESS THEN 36" WIDE TO HAVE MINIMUM 2-2x10 HEADER ABOVE  
 - ANY EXTERIOR DOOR OR WINDOW GREATER THEN 36" WIDE TO HAVE MINIMUM 3-2x8 HEADER ABOVE

CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE AND NOTIFY TS DRAFTING & DESIGN LTD. OF ANY DIMENSIONAL ERRORS, GRADE REQUIREMENTS, OMISSIONS OR DISCREPANCIES BEFORE BEGINNING OF FABRICATION WORK.  
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Client Name: Integrity Home Renovations / Address: #141 - 14th Street N. / Page Title: Main Floor Plan / Main Floor: 1133 SQ FT / Bonus Rm: / Scale: 3/16"=1'-0" / Date: July 31, 2019

Plans/blueprints to be verified by home owner/purchaser and/or project/construction manager before construction begins. All trades & workmanship to conform to national, provincial and municipal building codes, practices and city by-laws.



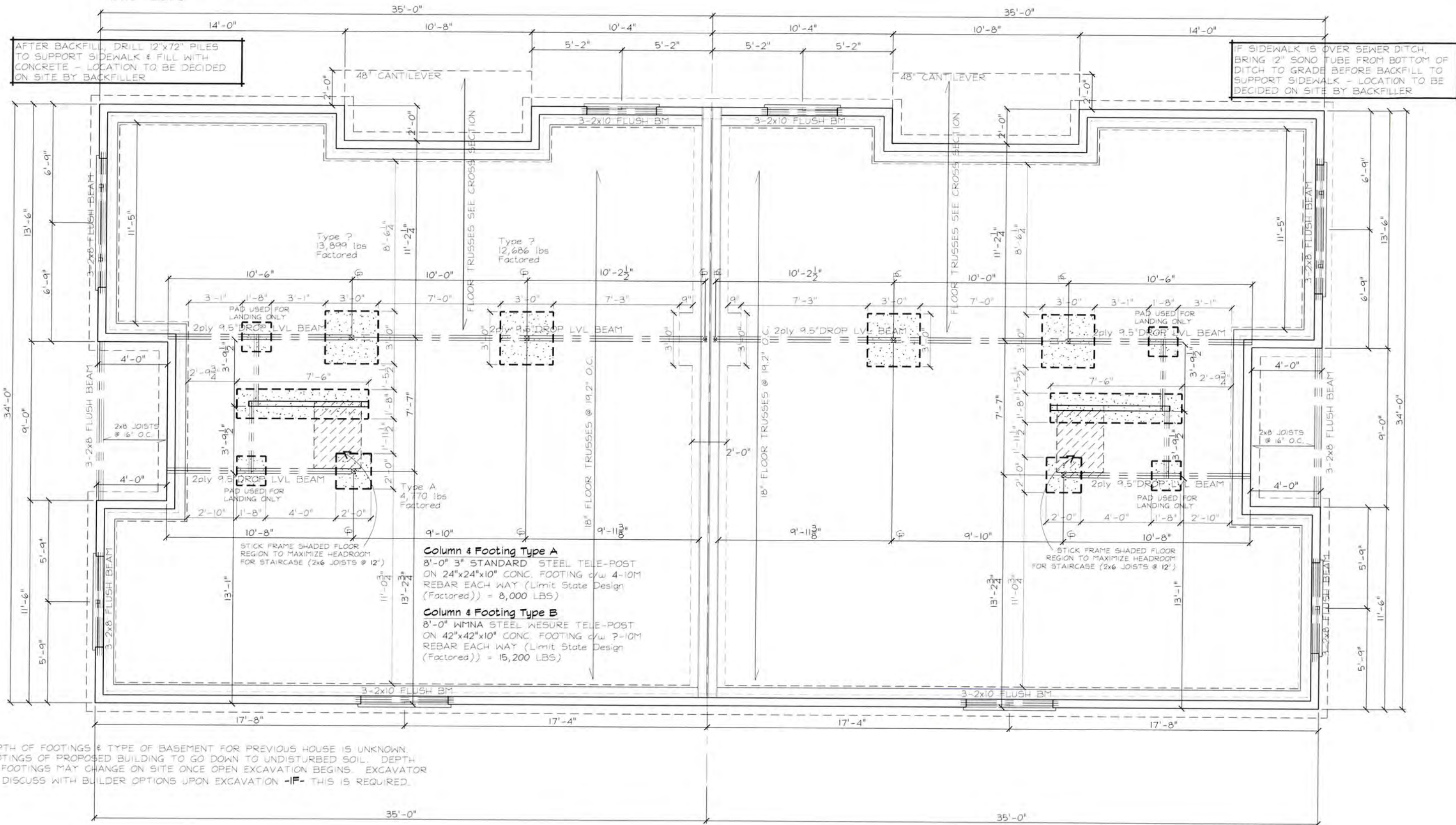


DEPTH OF FOOTINGS & TYPE OF BASEMENT FOR PREVIOUS HOUSE IS UNKNOWN, FOOTINGS OF PROPOSED BUILDING TO GO DOWN TO UNDISTURBED SOIL. DEPTH OF FOOTINGS MAY CHANGE ON SITE ONCE OPEN EXCAVATION BEGINS. EXCAVATOR TO DISCUSS WITH BUILDER OPTIONS UPON EXCAVATION -IF- THIS IS REQUIRED.

NO BASEMENT DEVELOPMENT



CRIBBER/ EXCAVATOR TO REVIEW ALL PAGES IN REGARDS TO FOUNDATION & FOOTINGS FOR CLARIFICATION OF HEIGHTS/ DEPTH/ DETAILS/ NOTES/ HEIGHTS



AFTER BACKFILL, DRILL 12"x72" PILES TO SUPPORT SIDEWALK & FILL WITH CONCRETE - LOCATION TO BE DECIDED ON SITE BY BACKFILLER

IF SIDEWALK IS OVER SEWER DITCH, BRING 12" SONO TUBE FROM BOTTOM OF DITCH TO GRADE BEFORE BACKFILL TO SUPPORT SIDEWALK - LOCATION TO BE DECIDED ON SITE BY BACKFILLER

**Column & Footing Type A**  
 8'-0" 3" STANDARD STEEL TELE-POST ON 24"x24"x10" CONC. FOOTING c/w 4-10M REBAR EACH WAY (Limit State Design (Factored)) = 8,000 LBS

**Column & Footing Type B**  
 8'-0" WMNA STEEL WESURE TELE-POST ON 42"x42"x10" CONC. FOOTING c/w 7-10M REBAR EACH WAY (Limit State Design (Factored)) = 15,200 LBS

DEPTH OF FOOTINGS & TYPE OF BASEMENT FOR PREVIOUS HOUSE IS UNKNOWN. FOOTINGS OF PROPOSED BUILDING TO GO DOWN TO UNDISTURBED SOIL. DEPTH OF FOOTINGS MAY CHANGE ON SITE ONCE OPEN EXCAVATION BEGINS. EXCAVATOR TO DISCUSS WITH BUILDER OPTIONS UPON EXCAVATION -IF- THIS IS REQUIRED.

\*\*NOTE TO FRAMER\*\*

- ANY EXTERIOR DOOR OR WINDOW EQUAL TO OR LESS THEN 36" WIDE TO HAVE MINIMUM 2-2x10 HEADER ABOVE  
 - ANY EXTERIOR DOOR OR WINDOW GREATER THEN 36" WIDE TO HAVE MINIMUM 3-2x8 HEADER ABOVE

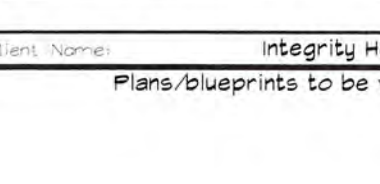
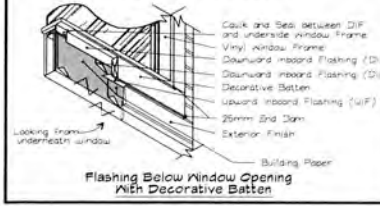
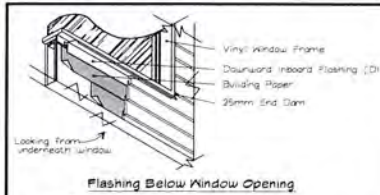
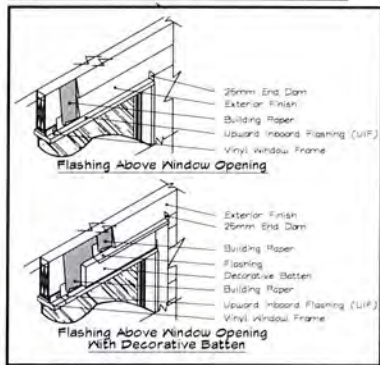
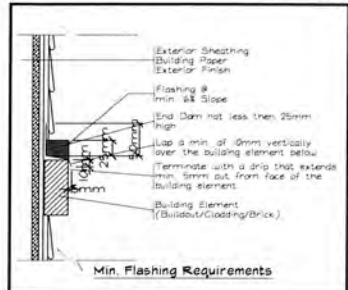
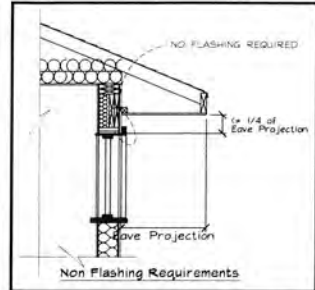
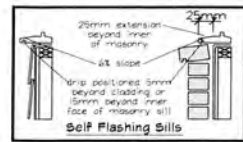
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Plans/blueprints to be verified by home owner/purchaser and/or project/construction manager before construction begins. All trades & workmanship to conform to national, provincial and municipal building codes, practices and city by-laws.

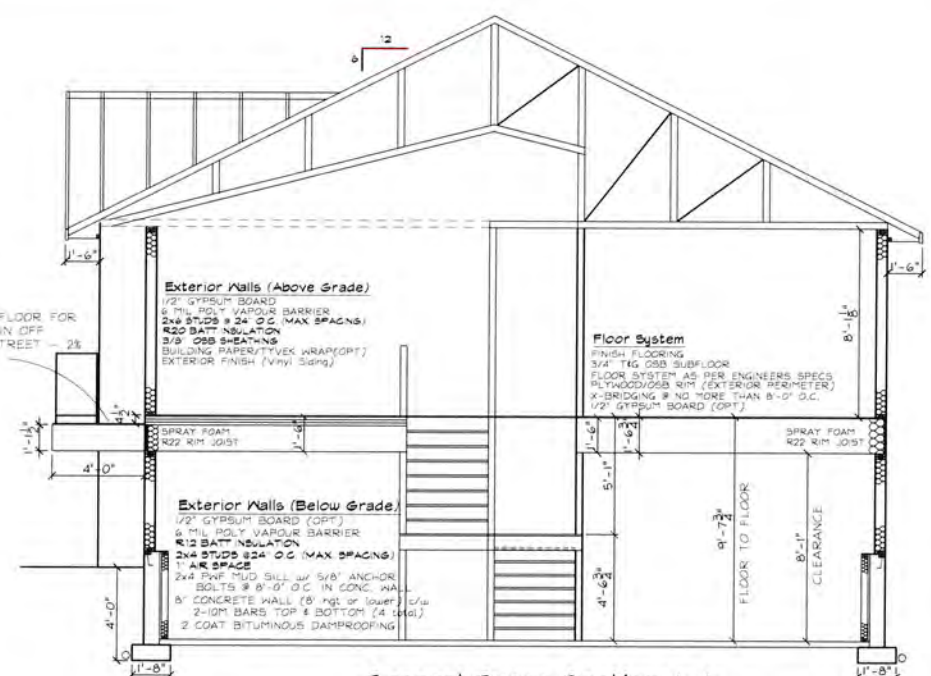




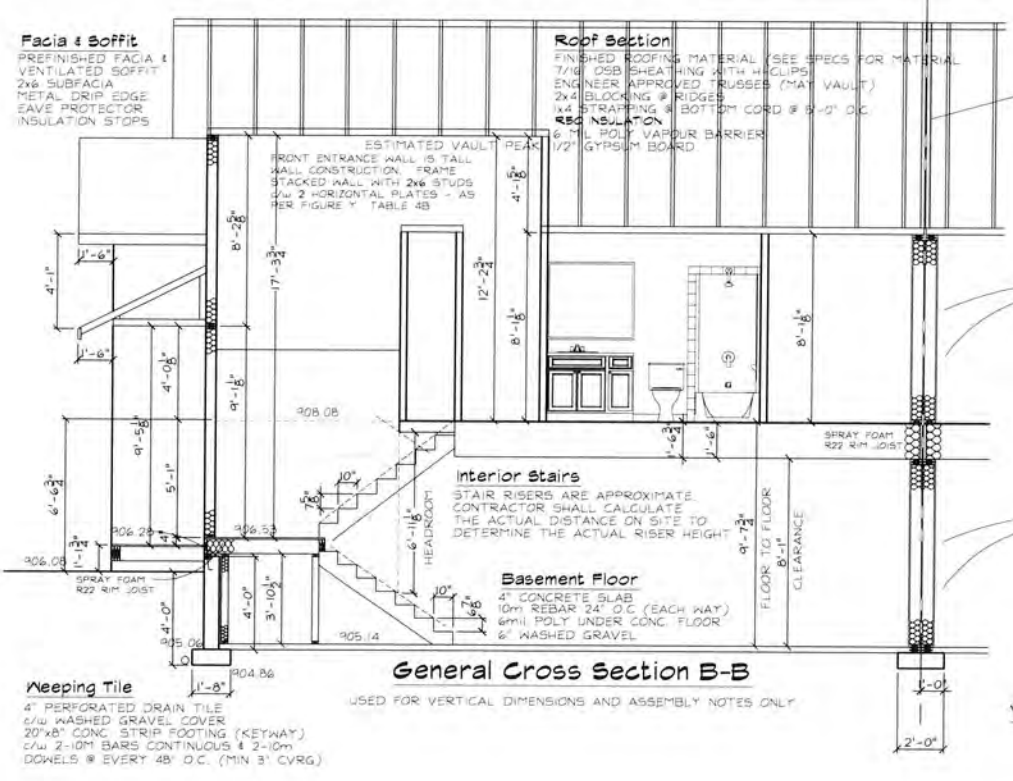




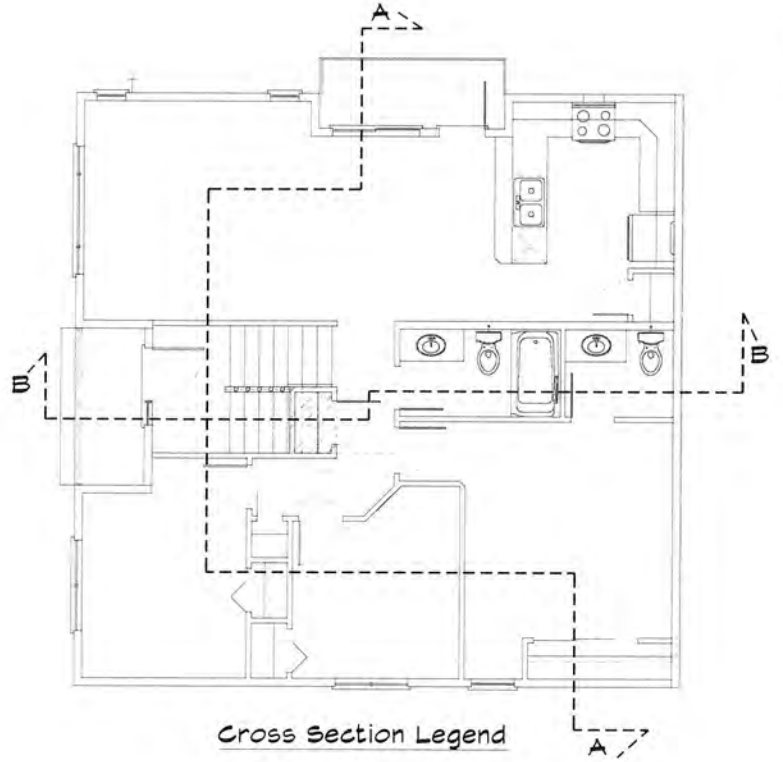
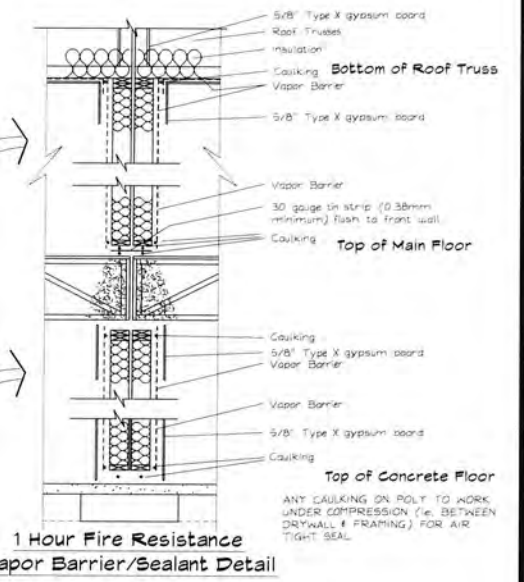
SHIM UP DECK FLOOR FOR WATER TO DRAIN OFF EDGE FACING STREET MINIMUM SLOPE



General Cross Section A-A  
USED FOR VERTICAL DIMENSIONS AND ASSEMBLY NOTES ONLY



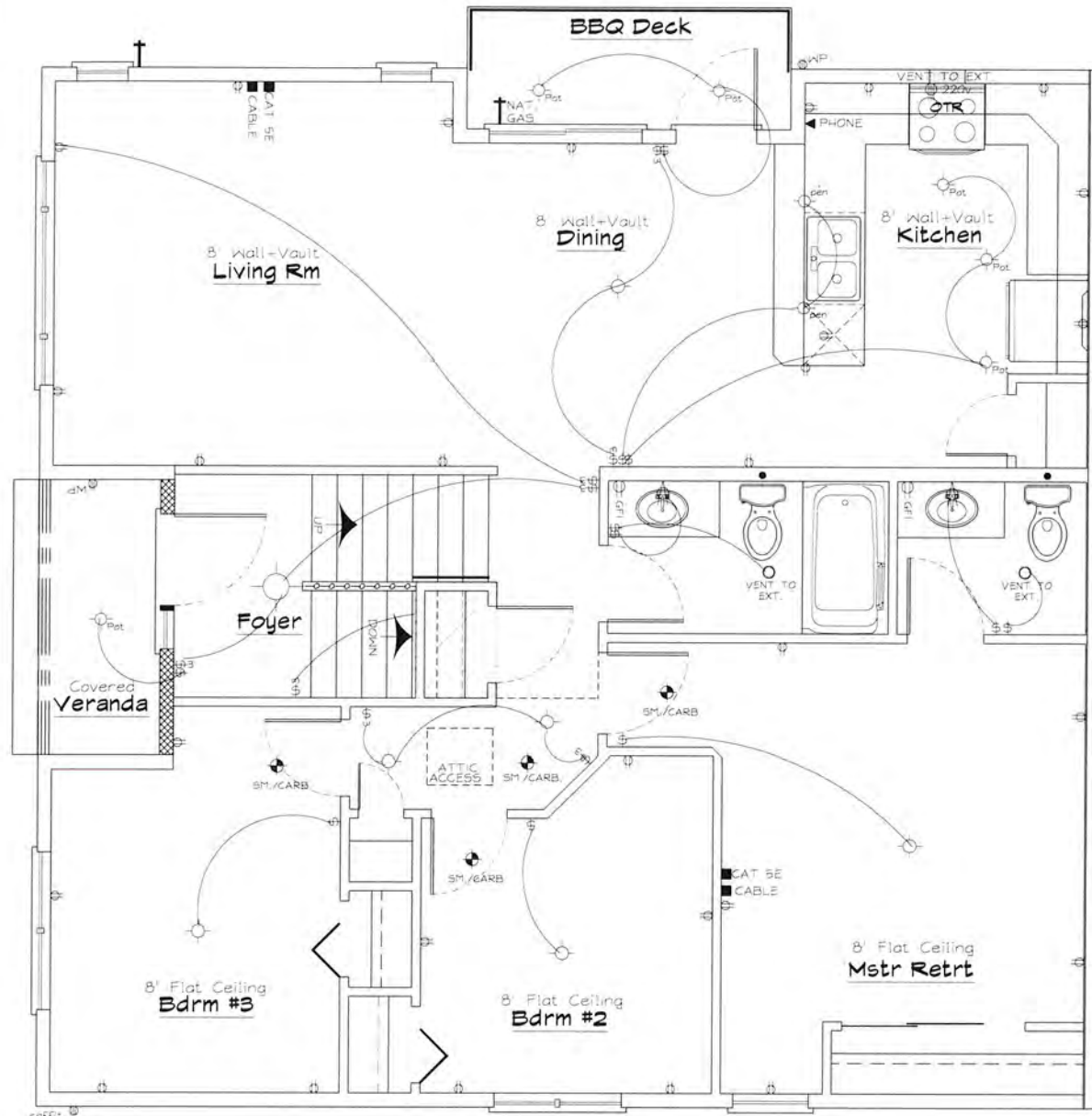
General Cross Section B-B  
USED FOR VERTICAL DIMENSIONS AND ASSEMBLY NOTES ONLY



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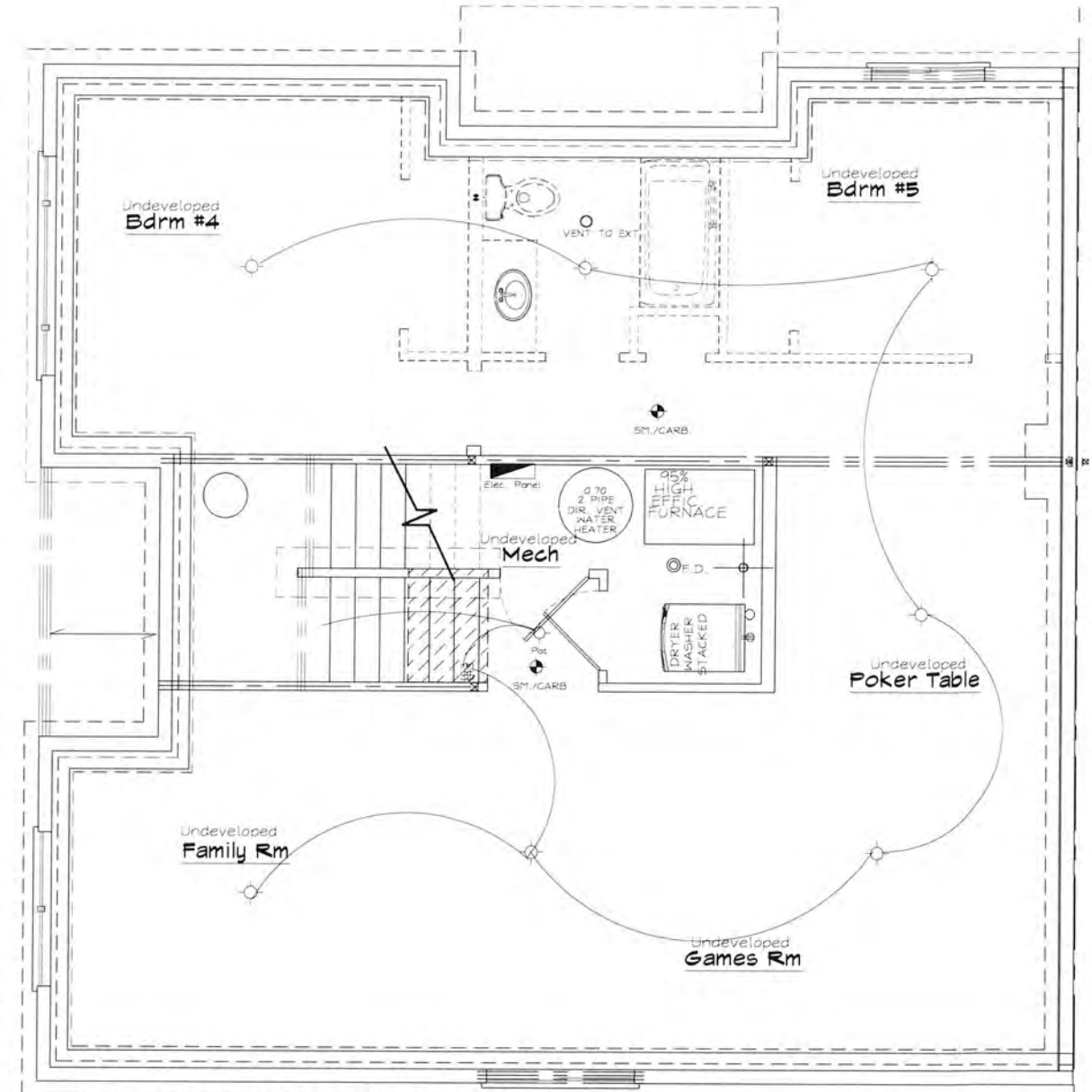




Main Floor Electrical

Electrical Symbols Library	
	ELECTRICAL POWER PANEL
	TELEPHONE JACK
	CABLE WOOD-UP
	CATEGORY 5 CABLE
	GROUND FAULT INTERRUPTER RECEPTACLE
	10A RECEPTACLE
	20A RECEPTACLE
	WEATHER PROOF RECEPTACLE
	SINGLE SWITCH
	DOUBLE SWITCH
	TRIPLE SWITCH
	WALL MOUNTED LIGHT
	TRACK LIGHTING
	CEILING MOUNT
	PENDANT LIGHT
	EYE BALL POT LIGHT
	POT LIGHT
	PULL CHAIN
	EYE RUCK LIGHT
	BATHROOM EXHAUST FAN
	SMOKE & CARBON MONOXIDE DETECTOR - WIRE IN
	STEREO SPEAKER
	CEILING FAN

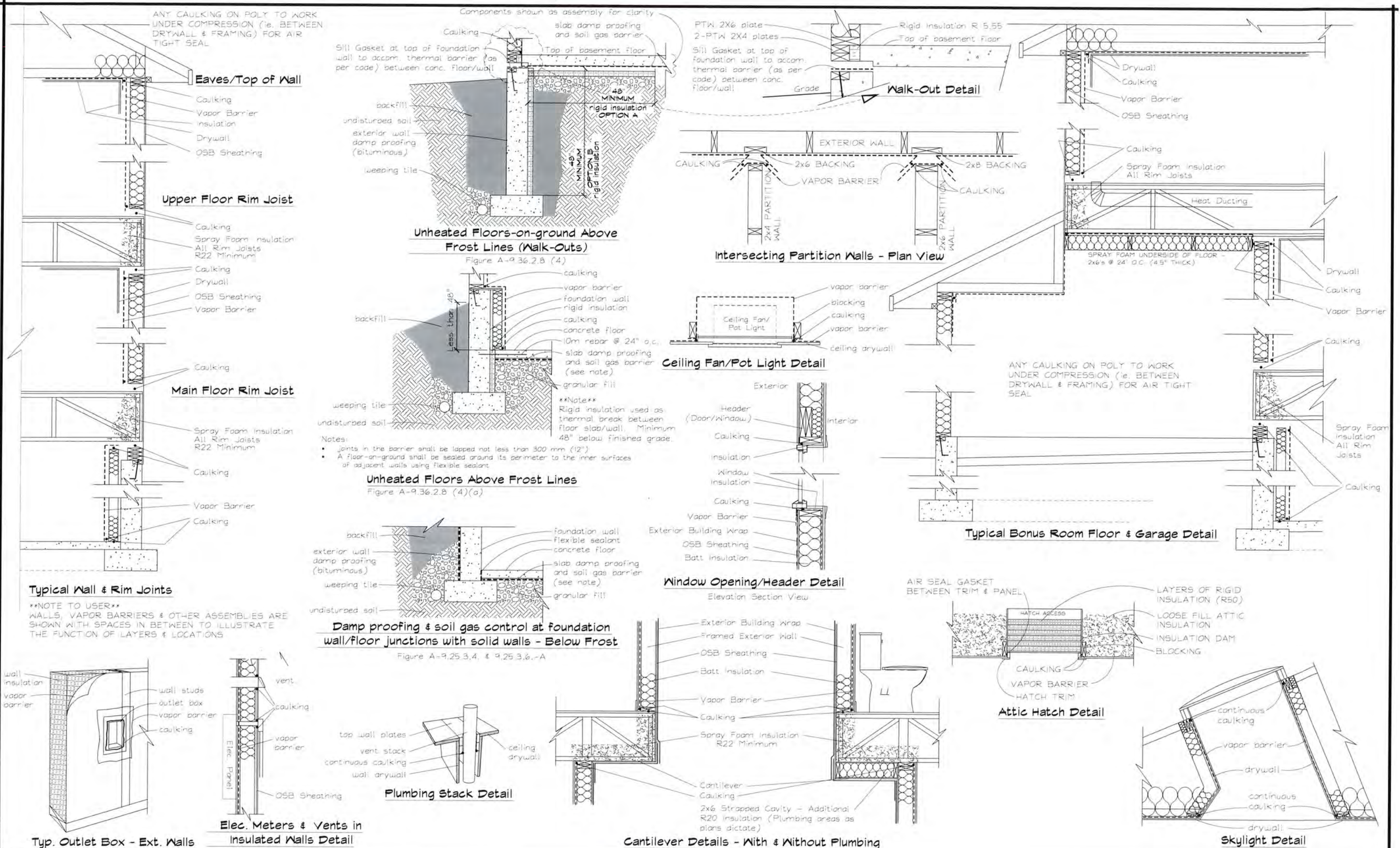
- Electrician to do walk through with general contractor/home owner at time of rough in to verify location, type and style of fixtures.
- All electrical to follow Electrical Building Code practices.
- All bedroom receptacle to be arc fault.
- Electrical items shown are for basic install. Special features or requests are responsibility of home owner to inform electrician.



Lower Floor Electrical

CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE AND NOTIFY TS DRAFTING & DESIGN LTD. OF ANY DIMENSIONAL ERRORS, GRADE REQUIREMENTS, OMISSIONS OR DISCREPANCIES BEFORE BEGINNING OR FABRICATING ANY WORK. TS Drafting & Design Ltd. Office: 403-942-1974 Cell: 403-360-7532 email: tsdrafting@shaw.ca web: tsdrafting.ca





**Typical Wall & Rim Joints**

**\*\*NOTE TO USER\*\***  
 WALLS, VAPOR BARRIERS & OTHER ASSEMBLIES ARE SHOWN WITH SPACES IN BETWEEN TO ILLUSTRATE THE FUNCTION OF LAYERS & LOCATIONS

**Damp proofing & soil gas control at foundation wall/floor junctions with solid walls - Below Frost**

Figure A-9.25.3.4, & 9.25.3.6.-A

**Typ. Outlet Box - Ext. Walls**

**Elec. Meters & Vents in Insulated Walls Detail**

**Cantilever Details - With & Without Plumbing**

**Attic Hatch Detail**

**Skylight Detail**



**TABLE 1 - CLIMATIC DATA FOR MAJOR ALBERTA CITIES**

Location	Wind (g 50) kPa	Snow (S) kPa
Calgary	0.45	1.1
Edmonton	0.45	1.7
Fort McMurray	0.35	1.5
Grande Prairie	0.43	2.2
Lethbridge	0.66	1.2
Medicine Hat	0.48	1.1
Red Deer	0.40	1.8

- Double wall top plates to match stud size
- Upper lintel supporting roof load size as per part 9 of ABC
- Upper wall opening (if any). Maximum single opening width is limited by jamb member requirements. Sum of all openings in wall shall not exceed 75% of the wall width. Maximum height of opening is 10'-0" per window
- Full height jamb members each side of opening
- Full height studs
- Cripple studs to underside of lintel (if any). For stacked walls match through to bottom plate
- Lower lintel for upper window support
- Lower opening (if any). Maximum height of opening is 10'-0"
- Single wall bottom plate to match stud size
- (2) - 3/4" diameter thru-bolts 3' above or below each horizontal plate location, 6" from top and bottom, and at maximum 48" O.C. (Typical)
- Plates for openings

**TABLE 3A - MAXIMUM WALL HEIGHT FOR FULL HEIGHT STUDS**  
Open Terrain Ce = 0.9

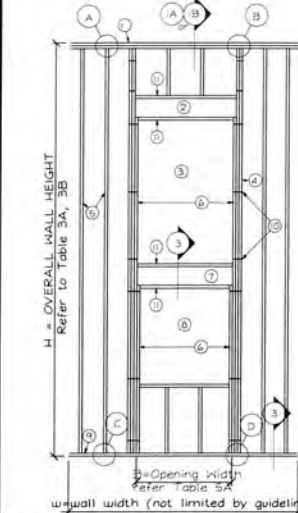
Stud Size	Spacing	g50 Reference Wind Pressure (kPa)					Lateralage
		0.40	0.45	0.50	0.55	0.70	
2x6	12"	10'-2"	11'-6"	12'-11"	13'-8"	14'-10"	14'-2"
	16"	16'-6"	15'-11"	15'-4"	14'-0"	13'-5"	12'-10"
	24"	13'-8"	13'-2"	12'-9"	11'-8"	11'-11"	10'-6"
2x8	12"	23'-11"	23'-0"	22'-2"	20'-4"	19'-5"	18'-7"
	16"	21'-9"	20'-11"	20'-2"	18'-5"	17'-6"	16'-7"
	24"	17'-11"	17'-3"	16'-7"	15'-0"	14'-3"	13'-6"

**Table 3A - MAX. Wall Height Studs - Full Length - Open Terrain**

**TABLE 3B - MAXIMUM WALL HEIGHT FOR FULL HEIGHT STUDS**  
Open Terrain Ce = 0.7

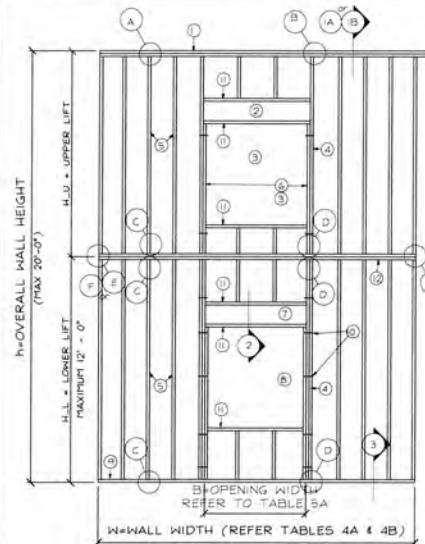
Stud Size	Spacing	g50 Reference Wind Pressure (kPa)					Lateralage
		0.40	0.45	0.50	0.55	0.70	
2x6	12"	14'-9"	14'-0"	13'-4"	12'-10"	12'-11"	11'-4"
	16"	17'-10"	17'-3"	16'-6"	15'-3"	14'-8"	14'-0"
	24"	14'-9"	14'-3"	13'-10"	12'-9"	12'-2"	11'-7"
2x8	12"	26'-0"	25'-0"	24'-2"	22'-0"	21'-2"	20'-3"
	16"	23'-8"	22'-9"	22'-0"	20'-0"	19'-2"	18'-4"
	24"	19'-6"	18'-9"	18'-1"	16'-6"	15'-8"	14'-11"

**Table 3B - MAX. Wall Height Studs - Full Length - Rough Terrain**



**FIGURE X - Full Height Studs Wall Framing**

Tall Wall Guideline - Revised January 2016  
ELEVATION OF WALL WILL VARY FOR GABLE



**FIGURE Y - Stacked Wall Framing**

Tall Wall Guideline - Revised January 2016

- Double wall top plates to match stud size
- Upper lintel supporting roof load size as per part 9 of ABC
- Upper wall opening (if any). Maximum single opening width is limited by jamb member requirements. Sum of all openings in wall shall not exceed 75% of the wall width. Maximum height of opening is 10'-0" per window
- Full height jamb members each side of opening
- Full height studs
- Cripple studs to underside of lintel (if any). For stacked walls match through to bottom plate
- Lower lintel for upper window support
- Lower opening (if any). Maximum height of opening is 10'-0"
- Single wall bottom plate to match stud size
- (2) - 3/4" diameter thru-bolts 3' above or below each horizontal plate location, 6" from top and bottom, and at maximum 48" O.C. (Typical)
- Plates for openings. Max. tributary height is 5'-6"
- Horizontal plates. Plate height to match adjacent wall heights in order to facilitate tie-in. Each end must be stabilized by a shear wall minimum 8'-0" long, constructed as per "shear wall diagram". No splices allowed in horizontal plates. All plates to be full width of wall "w" as req'd for connection at each end.

**Table 4A - Maximum wall width "w" For Stacked Walls Open Terrain Ce=0.9**

Wall Height (ft)	Hor. Plates	g50 Reference Wind Pressure					Lateralage
		0.40	0.45	0.50	0.55	0.70	
16'-0"	2-2x6	10'-10"	10'-3"	9'-9"	8'-9"	8'-0"	7'-9"
	4-2x6	14'-5"	13'-11"	13'-5"	12'-3"	11'-8"	11'-1"
	2-2x8	13'-3"	12'-6"	11'-10"	10'-4"	9'-8"	9'-1"
	4-2x8	10'-0"	10'-3"	17'-7"	15'-5"	14'-5"	13'-5"
18'-0"	2-2x6	10'-3"	9'-8"	9'-2"	8'-0"	7'-6"	7'-0"
	4-2x6	13'-10"	13'-4"	12'-10"	11'-10"	11'-1"	10'-5"
	2-2x8	12'-6"	11'-9"	11'-2"	9'-10"	9'-2"	8'-7"
	4-2x8	11'-10"	11'-2"	10'-7"	9'-3"	8'-8"	8'-1"
20'-0"	2-2x6	9'-9"	9'-2"	8'-8"	7'-7"	7'-11"	6'-8"
	4-2x6	13'-5"	12'-11"	12'-5"	11'-4"	10'-8"	9'-11"
	2-2x8	11'-10"	11'-2"	10'-7"	9'-3"	8'-8"	8'-1"
	4-2x8	17'-17"	17'-5"	16'-7"	14'-6"	13'-7"	12'-0"

**Table 4A - MAX. Wall Width - For Stacked Walls Open Terrain**

**Table 4A - Maximum wall width "w" For Stacked Walls Open Terrain Ce=0.9**

Wall Height (ft)	Hor. Plates	g50 Reference Wind Pressure					Lateralage
		0.40	0.45	0.50	0.55	0.70	
16'-0"	2-2x6	12'-4"	11'-8"	11'-0"	9'-5"	9'-0"	8'-5"
	4-2x6	15'-8"	15'-1"	14'-7"	13'-4"	12'-9"	12'-3"
	2-2x8	15'-0"	14'-11"	13'-5"	11'-4"	11'-0"	10'-3"
	4-2x8	20'-8"	19'-10"	19'-1"	17'-5"	16'-4"	15'-3"
18'-0"	2-2x6	11'-8"	11'-0"	10'-5"	9'-1"	8'-6"	8'-0"
	4-2x6	15'-1"	14'-6"	14'-0"	12'-0"	12'-3"	11'-9"
	2-2x8	14'-1"	13'-4"	12'-8"	11'-1"	10'-4"	9'-8"
	4-2x8	19'-10"	19'-1"	18'-4"	16'-6"	15'-5"	14'-5"
20'-0"	2-2x6	11'-0"	10'-5"	9'-10"	8'-8"	8'-11"	7'-7"
	4-2x6	14'-7"	14'-0"	13'-6"	12'-4"	11'-9"	11'-3"
	2-2x8	13'-10"	12'-8"	12'-0"	10'-6"	9'-10"	9'-2"
	4-2x8	19'-2"	18'-5"	17'-10"	15'-7"	14'-7"	13'-5"

**Table 4B - MAX. Wall Width - for Stacked Walls Rough Terrain**

**TABLE 5A - MAX OPENING WIDTHS "w" FOR STUD WALLS**

Stud Spacing	Number of Full Height Studs Each Side	4-Ply	8-Ply
12"	3	60"	84"
16"	4	60"	112"
24"	6	60"	168"

**Table 5B - Plates for Openings Maximum Spans Open Terrain Ce=0.9**

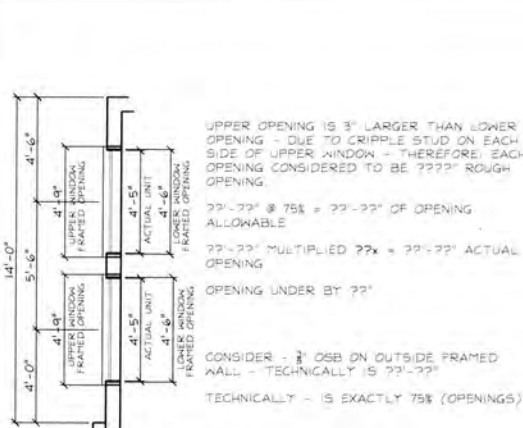
Member	g50 Reference Wind Pressure	Lateralage
1-2x6	0.40	0.45
1-2x6	0.50	0.55
2-2x6	0.40	0.45
2-2x6	0.50	0.55
1-2x8	0.40	0.45
1-2x8	0.50	0.55
2-2x8	0.40	0.45
2-2x8	0.50	0.55

**Table 5C - Plates for Openings Maximum Spans Open Terrain Ce=0.7**

Member	g50 Reference Wind Pressure	Lateralage
1-2x6	0.40	0.45
1-2x6	0.50	0.55
2-2x6	0.40	0.45
2-2x6	0.50	0.55
1-2x8	0.40	0.45
1-2x8	0.50	0.55
2-2x8	0.40	0.45
2-2x8	0.50	0.55

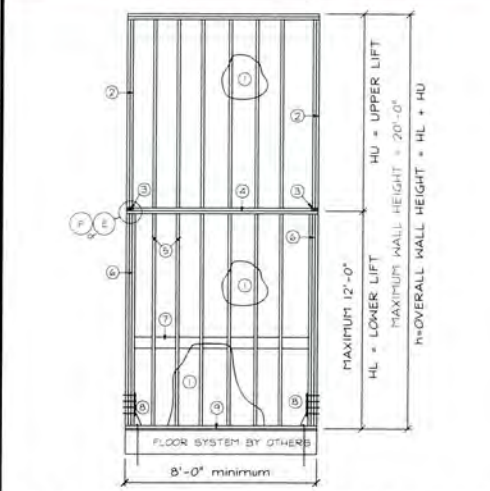
**Table 5D - Plates Connections**

Member	Connections
1-2x6	(4) 3/25" x 0.3" end nails each end to jamb
2-2x6	Simpson L50 framing clip each end to jamb
1-2x8	(5) 3/25" x 0.3" end nails each end to jamb
2-2x8	Simpson L70 framing clip each end to jamb



**Estimated Rough Openings for Tall Wall**

added to each window opening for Rough Opening



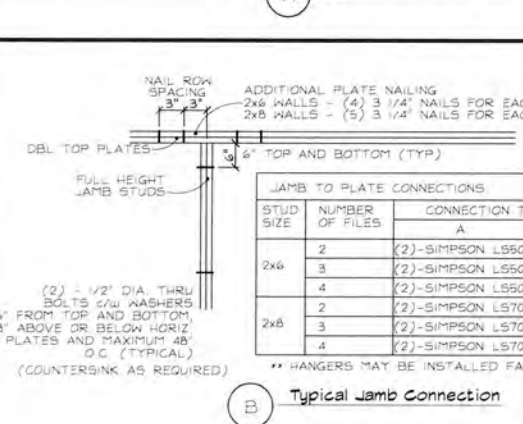
**FIGURE Z - Shear Wall Elevation**

Tall Wall Guideline - Revised January 2016

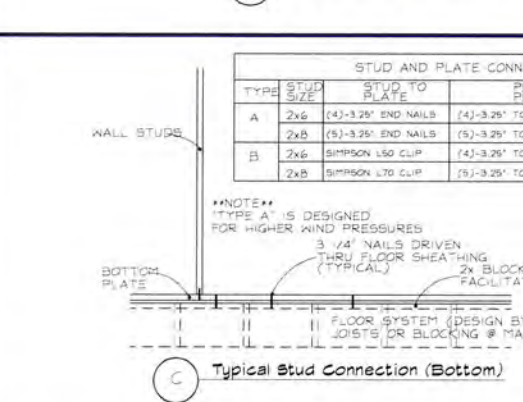
**STUD AND PLATE CONNECTIONS**

TYPE	STUD SIZE	STUD TO PLATE	PLATE TO PLATE
A	2x6	(4) - 3/16" END NAILS	(4) - 3/16" TO MATCH STUD SPACING
B	2x6	(5) - 3/16" END NAILS	(5) - 3/16" TO MATCH STUD SPACING
A	2x8	SIMPSON L50 CLIP	(4) - 3/16" TO HALF STUD SPACING
B	2x8	SIMPSON L70 CLIP	(5) - 3/16" TO HALF STUD SPACING

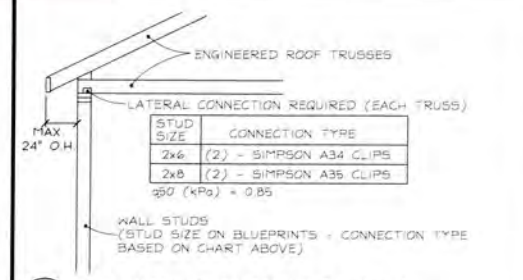
**Typical Stud Connection**



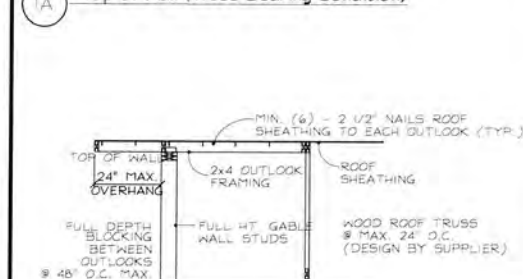
**Typical Jamb Connection**



**Typical Stud Connection (Bottom)**



**Top of Wall (Truss Bearing Condition)**

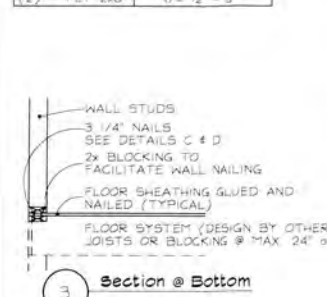


**Top of Wall (Gable Endwall Condition)**

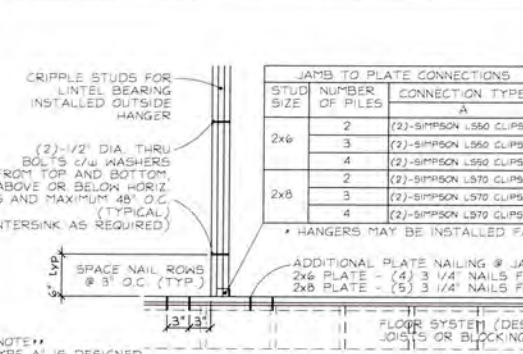
Tall Wall Guideline - Revised January 2016



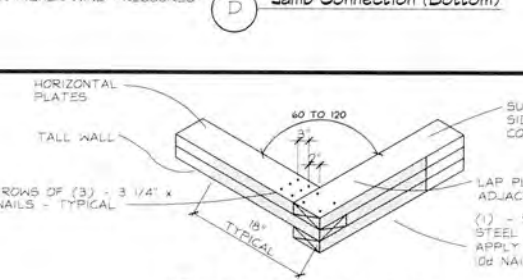
LINTEL SIZE	MAXIMUM OPENING WIDTH
(2) - PLY 2x4	6'-0"
(2) - PLY 2x6	9'-0"
(2) - PLY 2x8	12'-0"



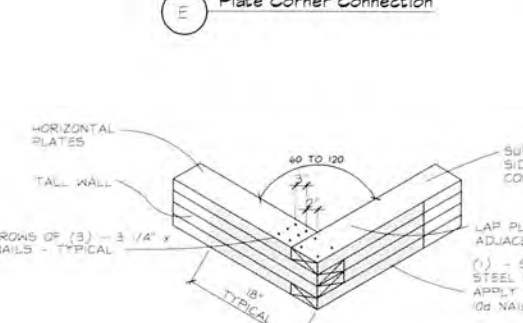
**Section @ Bottom**



**Jamb Connection (Bottom)**



**Plate Corner Connection**



**Plate Corner Detail**





# Subdivision & Development Appeal Board

NOTIFICATION SUMMARY

**Appendix B: Notification Letter, Map & Responses**

<b>Neighbourhood Assoc.</b>	Westminster Neighbourhood Association Westminster Village Committee
<b>Neighbourhood</b>	<ul style="list-style-type: none"> <li>• 30 letters were sent to residents within a 60m radius of the subject parcel on June 20, 2019, and emails were sent to both neighborhood associations seeking comments on the proposed 2-unit Dwelling.             <ul style="list-style-type: none"> <li>○ Responses received from both neighborhood associations and City of Lethbridge departments.</li> </ul> </li> <li>• 30 letters were sent to residents within 60m radius of the subject parcel on July 15, 2019 informing residents that the proposed 2-unit dwelling would be heard by MPC on July 30, 2019</li> </ul>

EVALUATION

<b>Background</b>	<ul style="list-style-type: none"> <li>• June 14, 2019 – Applicant applies for development permit to construct a 2-unit dwelling on a previously developed parcel. The 4 required off-street parking stalls re provided.</li> <li>• No waivers are required for the proposal.</li> <li>• June 20 2019 – Notification letters sent to residents within 60m of the proposed development parcel, and notification emails sent to both neighborhood associations, to solicit comments on this added densification.</li> <li>• Responses from neighbourhood associations and City Planning department necessitate the application being brought before the Municipal Planning Commission.</li> <li>• July 15, 2019 - Letters were sent to residents, and emails sent to neighborhood associations (July16th) advising of the July 30 MPC meeting.</li> <li>• This meeting was advertised in the Lethbridge Herald on July 20, 2019 also advising the public of this meeting.</li> </ul>
<b>Comments received</b>	<b>Westminster Neighbourhood Association</b>





# Subdivision & Development Appeal Board

- Good morning, the Board of Directors has no problem with this 2-unit dwelling.

### **Westminster Village Committee**

- Hello Joshua, Thank you for the notice concerning yet another request for a 2 unit in Westminster. Our draft for our new arp points out that development between 1 and 2nd avenue will not include more density. I will send you a copy. Back in the early 90's when the WNA had a landuse committee, we were always requesting that the city not continue to densify this area, especially because of the train derailment ( I will send you that report soon as well). I will check the area that the French canadian town that had the mean derailment( back acouple of years) use as a no development zone. When John Pickles was still with the WNA he tired to be of help to the residents in this regard ,as well.

- Hi Joshua, sorry been in hospital so didn't get to this sooner. Playing catch up.

We know that WNA always goes with the developer (even when the city doesn't). But Westminster Village Committee (wvc) will not be supporting this proposal.

- 1) what is current traffic volume right by this property?
  - 2) when was last noise assessment done for the residents along 2 avenue north, like the city yearly assesses for other hoods? vehicle noise etc.
  - 3) how many city staff decide on whether MPC or SDAB meetings for certain hoods? Just one?
  - 4) Westminster is one of the highest (30 units per hectare) hoods for density already.
  - 5) Much of Westminster is in zone 10 -highest calls for service for police.
- More to follow, background info etc.

### **City of Lethbridge Departments**

#### **Water and Wastewater Services**

- New sanitary and water services are required.

#### **Electric Operations**

- Metering location may not be acceptable depending on servicing style required.
- Contact electric design well ahead of construction.  
electricdesign@lethbridge.ca
- allow at least 8 weeks for servicing.

#### **Building Inspection Services**

- No comments

#### **Planning**

- Planning strongly opposes this proposal.





# Subdivision & Development Appeal Board

	<ul style="list-style-type: none"><li>- Approving this two-unit dwelling would contradict a policy in the upcoming Westminster Area Redevelopment Plan drafted through extensive dialogue with the neighborhood stakeholders; supporting this proposal would be disrespectful to the concerns and input of the neighborhood stakeholders.</li><li>- The upcoming Westminster Area Redevelopment Plan identifies the area between 1st Ave N and 2nd Ave N from 13 St N to Mayor Magrath Drive N at risk of detrimental impacts of a potential derailment off the rail tracks along 1st Ave N. for this reason any additional density in this area is prohibited. The goal with prohibiting additional density is to prevent the increase of dwelling units and therefore individuals at risk.</li></ul>
<b>Considerations</b>	<b>Compliance</b> <ul style="list-style-type: none"><li>• All setback requirements and separation distance requirements will be met for the proposed new construction</li><li>• The 4 Off-street Parking stalls, as required will be provided via the driveway and detached garage.</li></ul>
<b>Legislation &amp; Policy</b>	<b>Land Use Bylaw 5700</b> <ul style="list-style-type: none"><li>• Section 1.4 – Definitions<ul style="list-style-type: none"><li>○ “Dwelling, Two Unit means a dwelling which contains only two dwelling units separated by a common party wall extending from the foundation to at least the top of the first storey of one of the dwelling units or by a common ceiling/floor assembly.”</li></ul></li></ul> <b>Current Westminster Neighborhood Area Redevelopment Plan (adopted 1985, and amended in 2001)</b> <ul style="list-style-type: none"><li>• Caution on noise within 100m of the Railway right of way.</li><li>• Measures to address pedestrian safety given traffic volume considerations.</li><li>• Subject parcel is contained in Sub-Area 4, which “was to have only single detached, semi-detached, and townhouse dwellings not exceeding five units per building.”</li></ul>





## Subdivision & Development Appeal Board

<b>Analysis</b>	<ul style="list-style-type: none"><li>• Concerns raised by both the <b>Westminster Village Committee</b> and <b>City Planning and Development</b> speak to larger issues than this single proposed development.</li><li>• <b>Potential Noise and traffic impacts</b> for an additional 2 vehicles would have no appreciable impact. Two-Unit dwellings are still considered low residential density. <i>If</i> this proposal required a rezoning to allow for a medium or high density residential development then these factors <i>may</i> play a role in such an application.<ul style="list-style-type: none"><li>○ The City of Lethbridge does not have Noise assessments for this area.</li></ul></li><li>• <b>Noise impacts</b> may play a role in the current discussions regarding the revision to the Westminster Area Redevelopment Plan. The <b>current</b> Westminster Area Redevelopment Plan indicates potential for noise concerns within 100m of the railway. The subject property is approximately 180m from the railway.</li><li>• <b>Traffic impacts</b> may play a role in the current discussions regarding the revision to the Westminster Area Redevelopment Plan. The <b>current</b> Westminster Area Redevelopment Plan also indicates that an increase in traffic volumes may require measures to ensure safety of pedestrians such as reduced speed limits or signalized pedestrian crossings, prohibiting on street parking, or widening the paved surface. The applicant is providing for off-street parking, thereby eliminating this concern in the current Westminster Area Redevelopment Plan.<ul style="list-style-type: none"><li>○ Traffic stats provided by City of Lethbridge Infrastructure Services indicate traffic counts of 5,500 – 6,000 vehicles per day on 2<sup>nd</sup> Ave North at 14 street North.</li></ul></li><li>• <b>Safe setback from potential train derailment</b> – this is a potential policy that is outside of the scope of the Development Officer, and as such no comments will be made regarding this.</li></ul>
	<ul style="list-style-type: none"><li>•</li></ul>

### CONCLUSION

The application for the new 2-unit Dwelling on a previously developed parcel was approved by MPC with the following conditions:

1. The dwelling shall be developed in accordance with the plans submitted June 14, 2019, with the removal of the basement entries. Any changes to these plans require the approval of the Development Officer.





CITY OF  
*Lethbridge*

# Subdivision & Development Appeal Board

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August 29, 2019  
Page 7 of 7

2. A minimum of four off-street parking spaces (2 per unit) shall be provided and maintained at all times.
3. The exterior appearance of the dwelling shall be in accordance with the plans submitted June 14, 2019, to the satisfaction of the Development Officer.





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PLANNING AND DEVELOPMENT SERVICES

1<sup>st</sup> Floor City Hall  
910 – 4 Avenue South  
Lethbridge, AB T1J 0P6

Phone No. 403-320-3920  
Fax No. 403-327-6571  
[developmentsservices@lethbridge.ca](mailto:developmentsservices@lethbridge.ca)

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June 20, 2019

**NOTICE TO NEIGHBOURS**

**This letter is being sent to property owners  
within a 60m radius of:**

**141 14 ST N**

An application has been received to develop a two-unit dwelling on a previously developed parcel. The four (4) required off-street parking stalls will be provided.

If you require any further information about this development application please contact Development Services at 403-320-3920, by July 2, 2019.

If you feel that you will be impacted by this development, please explain how and why in writing or by email on or before the above date. Please note that all information you provide can be made public.



Joshua Bourelle  
Development Officer

cc: Applicant

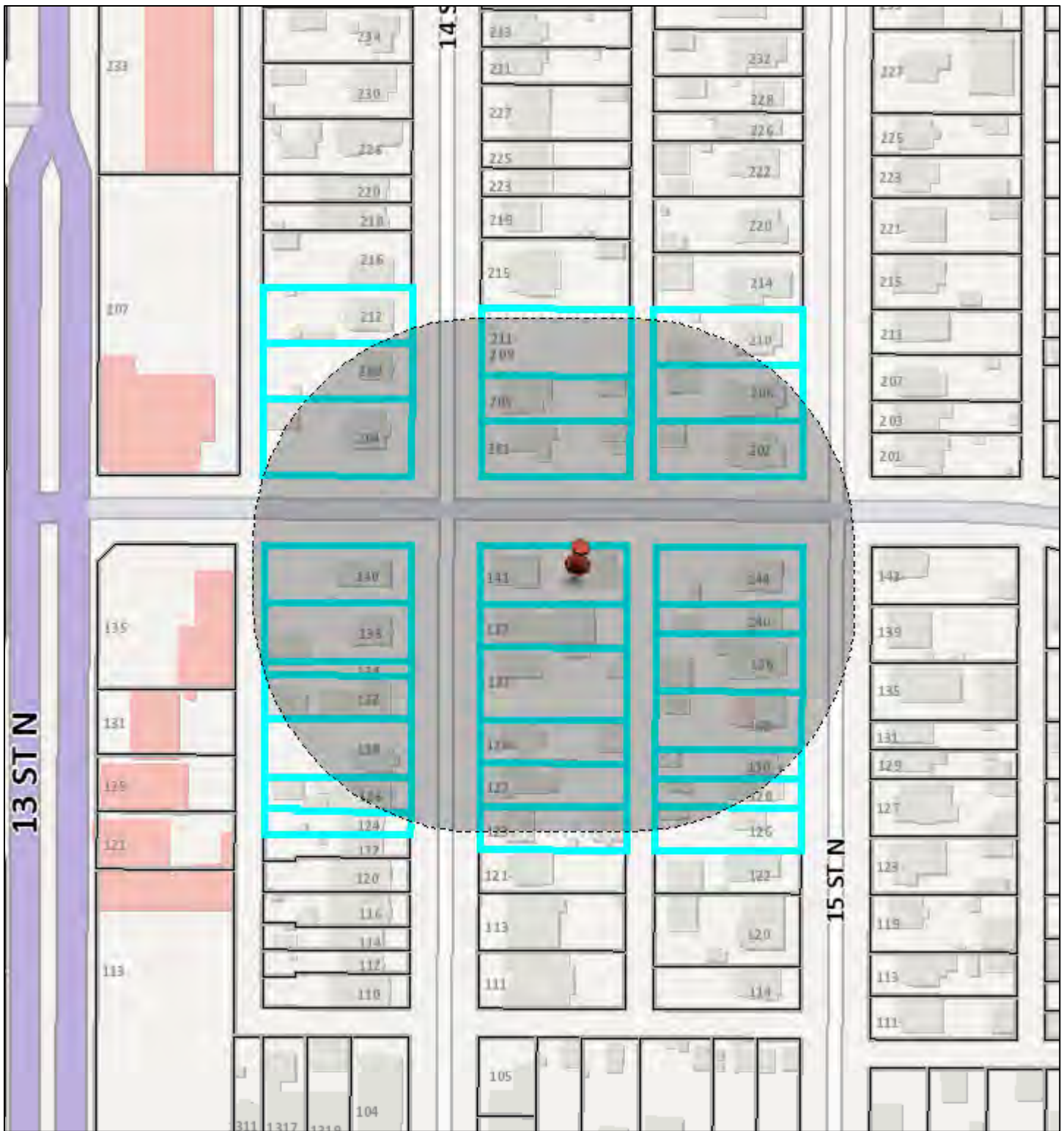
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**FOIP**

Any personal information provided in response to this letter is collected under the Alberta Municipal Government Act and in accordance with Section 33(c) of the Freedom of Information and Protection of Privacy Act. **Please note that such information may be made public.** If you have any questions about the collection or use of the personal information provided, please contact Information Management at 910 4 Ave S, Lethbridge, AB, T1J 0P6 or phone at (403) 320-7329.



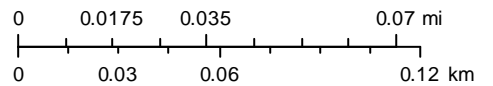
# 141 14th Street North



June 20, 2019

1:2,257

 Parcels



Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community  
City of Lethbridge, Alberta, Canada





CITY OF  
*Lethbridge*

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PLANNING AND DEVELOPMENT SERVICES

1<sup>st</sup> Floor City Hall  
910 – 4 Avenue South  
Lethbridge, AB T1J 0P6

Phone No. 403-320-3920  
Fax No. 403-327-6571  
[developmentsservices@lethbridge.ca](mailto:developmentsservices@lethbridge.ca)

---

July 15, 2019

**NOTICE TO NEIGHBOURS**

**This letter is being sent to property owners  
within a 60m radius of:**

**141 14 Street North**

You were previously informed that an application had been received to construct a new two-unit dwelling on a previously developed parcel at the above noted address. The four (4) required off-street parking stalls will be provided.

No decision on this application has been made. This application will be considered by the **Municipal Planning Commission on July 30, 2019, at 3:00 p.m. in Council Chambers**, Main Floor of City Hall.

If you feel you will be impacted by this development, please explain how and why in writing and it will be submitted to the Commission. You may mail, email, or deliver it to the Development Services Department for receipt not later than **4:30 p.m. on July 29, 2019**. In addition or alternatively, you may speak to the Commission at the meeting. Please note that if you wish to present on or speak to an application, you will be limited to a 5 minute timeframe. All written material previously submitted to this office will be presented to the Commission. Please note that all information you provide will be made public.

Joshua Bourelle  
Development Officer

cc: Applicant

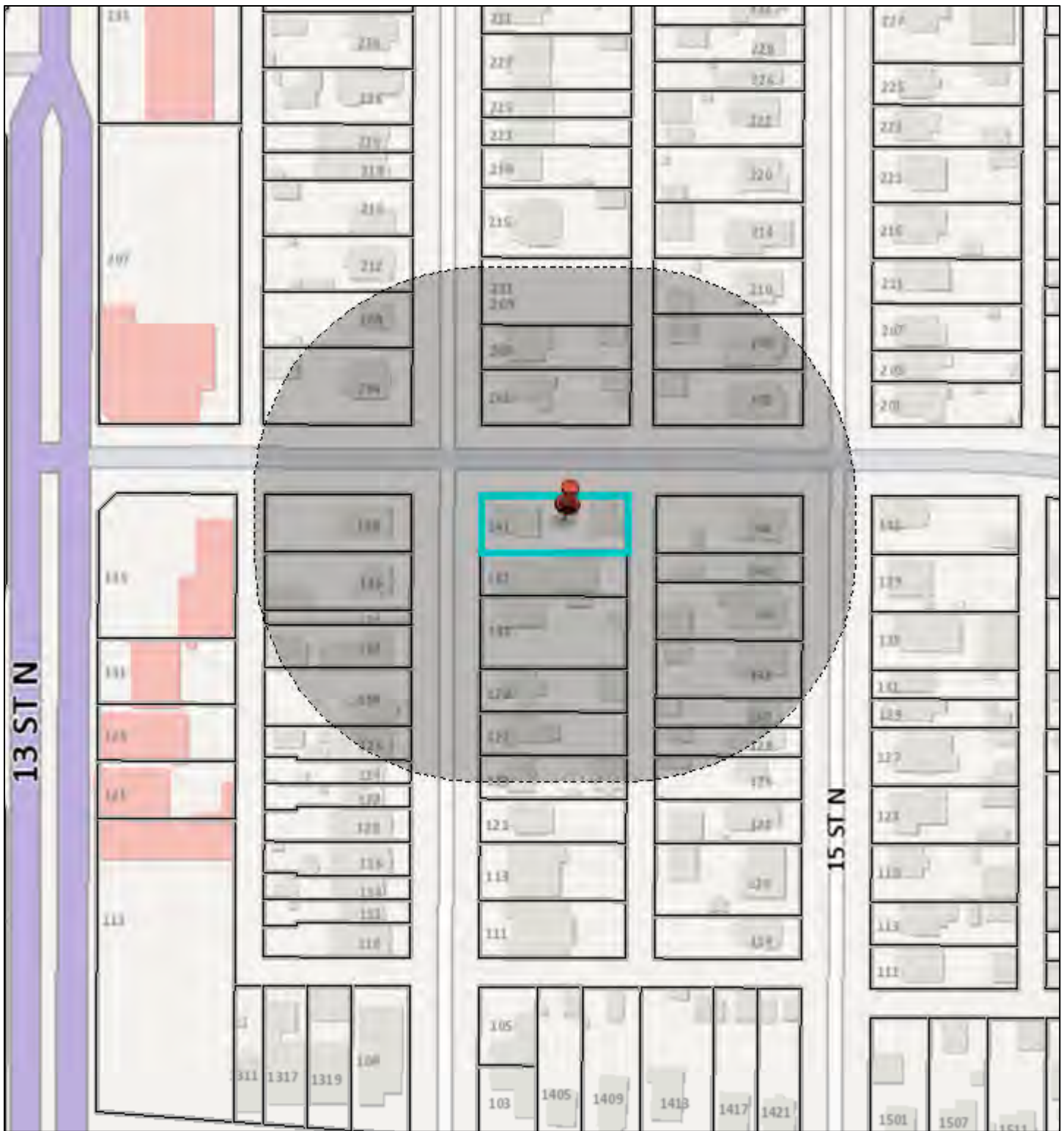
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# 141 14 Street North



**From:** [Office Coordinator](#)  
**To:** [Joshua Bourelle](#)  
**Subject:** Re: proposed 2 unit development  
**Date:** Friday, June 28, 2019 10:34:14 AM

---

Good morning, the Board of Directors has no problem with this 2-unit dwelling.

Thank you,  
Marney Brown  
Office Coordinator  
Westminster Neighborhood Association  
403-329-3026

**From:** [Joshua Bourelle](#)  
**Sent:** Thursday, June 20, 2019 4:29 PM  
**To:** <mailto:westmins@telus.net> ; <mailto:wvc@shaw.ca>  
**Subject:** proposed 2 unit development

Good Afternoon,

Attached is the notification for a proposed 2-unit dwelling at 141 14 St North.

The notice says that comments are due back to me by July 2, 2019. If you could get your comments back to me by that Friday, July 5, that would be great.

If you have any other questions please don't hesitate to ask.

Best regards,

**Joshua Bourelle**

*Development Officer, Planning and Development* | Infrastructure Services  
City of Lethbridge  
City Hall, 910 4<sup>th</sup> Avenue South  
Lethbridge, Alberta T1J 0P6

**Department** 403 320-3920 | **Office** 403 320-4193

**Email** [Joshua.Bourelle@lethbridge.ca](mailto:Joshua.Bourelle@lethbridge.ca)



**From:** [Darlene McLean](#)  
**To:** [Joshua Bourelle](#); [wvc](#)  
**Cc:** [John Pickles](#); [Beverly Robinson](#); [Kristina Larkin](#); [Martie Dick](#); [lcanniff@shaw.ca](#); [George Duncan](#); [WNA Association](#); [wvc](#); [PAT KENNY](#); [colly.arsene@gmail.com](#); [elliottwilliamson@yahoo.ca](#); [Pat and Al](#); [Shelagh Graham](#); [Kurt Fisher](#); [Chelsea King](#)  
**Subject:** Fw: 2 unit at 141-14 street north  
**Date:** Tuesday, July 2, 2019 4:27:13 PM

---

Hello Joshua, Thank you for the notice concerning yet another request for a 2 unit in Westminster. Our draft for our new arp points out that development between 1 and 2nd avenue will not include more density. I will send you a copy. Back in the early 90's when the WNA had a landuse committee, we were always requesting that the city not continue to densify this area, especially because of the train derailment ( I will send you that report soon as well). I will check the area that the French Canadian town that had the mean derailment( back a couple of years) use as a no development zone. When John Pickles was still with the WNA he tried to be of help to the residents in this regard ,as well.

Hi Joshua, sorry been in hospital so didn't get to this sooner. Playing catch up. We know that WNA always goes with the developer (even when the city doesn't). But Westminster Village Committee (wvc) will not be supporting this proposal.

- 1) what is current traffic volume right by this property?
- 2) when was last noise assessment done for the residents along 2 avenue north, like the city yearly assesses for other hoods? vehicle noise etc.
- 3) how many city staff decide on whether MPC or SDAB meetings for certain hoods? Just one?
- 4) Westminster is one of the highest (30 units per hectare) hoods for density already.
- 5) Much of Westminster is in zone 10 -highest calls for service for police.

More to follow, background info etc. Darlene McLean

On Jun 13, 2019, at 4:20 PM, Darlene McLean <[frivory@telusplanet.net](mailto:frivory@telusplanet.net)> wrote:

Only had time to review this draft and compare it to London Road's draft (comparable hood, many similar issues). Their draft was 114 pages with 16 maps. They stated that it was 95% complete. I don't want to make any assumptions so : how finalized is our draft and do you intend to include maps right in the ARP? Most especially a current, accurate and verifiable land use map? One that includes current legal suites/2 unit that have been grandfathered by development services (means no resident input, just approved, some with legally required parking etc., some not). And all legal and illegal suites, 2 units, 3 plexes, 4 plexes etc. that are defined as such on the property tax maps right on city website. Council, residents etc. are entitled to a real picture of current situation. Especially because our draft says the city will continue to legalize the illegal and ok further intensification. You have to know accurately and honestly where you are at to help plan where you are going?

Page 45 from London Roads draft" Retain the small- scale residential character, while promoting MINIMAL residential intensification and opportunities to increase the diversity of housing options ". Please define in writing what MINIMAL amounts of secondary and two unit dwellings mean?

Folks remember our last meeting( our only landuse meeting), where the staff showed us, on a map the legal and illegal suites etc. that they acknowledged, Pat Kenny , Elivra(her and I spent 35- 40 hours around the hood to add to our data) and Shannon compiled? Plus the staff gave us a few more addresses,most we knew about,perhaps not all. We stopped giving city the data, long ago. And they would not give us a copy of the map they had compiled.Because all they were doing with it was granfathering as many as they could. Where as, we compiled this data to show the city how they had contributed to institutional segregation,ghettoization,denied Westminster fair process, increased unsafe conditions, used economic discrimination( as we do not have the social and political clout to meet directly with the head of community planning(and actually get some answers) ,like some hoods or hire a lawyer.).

Currently a hood on the south side that is classified as restricted low density ( no suites or 2 units allowed),which is one of at least 2-3 others that I know of, has hired a lawyer and may win because of their exclusive classification against a social housing.project. Westminster has no restricted low density areas, as you may be aware. Apparently the city doesnot use this classification any more ,they don't need to. Instead they developed riverstone etc. etc. ,which has extremely minimal suites / 2 units. And 1/2,1/3 acre lot subdivisions etc. for exclusive hoods. So where will yet another social housing project end up? Some feel we have excepted more than our fair share. There is a number of them in Westminster now.

This and more in a city that has "balanced development " in their mission statements or direction papers. I'll look for my copy and forward.

Darlene

----- Original Message -----

**From:** [Genesis Hevia Orio](#)

**To:** [Darlene McLean](#)

**Cc:** [j.pickles](#) ; [Beverly Robinson](#) ; [Kristina Larkin](#) ; [Martie Dick](#) ; [lcanniff@shaw.ca](#) ; [gdun317@gmail.com](#) ; [PAT KENNY](#) ; [colly.arsene@gmail.com](#) ; [elliottwilliamson@yahoo.ca](#) ; [Sue Lillemo](#) ; [Shelagh Graham](#) ; [Kurt Fisher](#) ; [Chelsea King](#) ; [Maureen Gaehring](#)

**Sent:** Tuesday, June 11, 2019 6:43 PM

**Subject:** Re: Upcoming WARP Meeting



Hi,

Yes, this is still on Thursday 5-8pm at City Hall, dinner will be provided.

Genesis

Sent from my iPhone

On Jun 11, 2019, at 5:07 PM, Darlene McLean <[frivory@telusplanet.net](mailto:frivory@telusplanet.net)> wrote:

Is this still on? Can anyone confirm?

Thanks, Darlene

----- Original Message -----

**From:** [Genesis Hevia Orio](#)

**To:** 'j pickles'; 'Beverly Robinson'; 'Darlene McLean'; 'Kristina Larkin'; 'Martie Dick'; 'lcanniff@shaw.ca'; 'gdun317@gmail.com'; 'PAT KENNY'; 'colly.arsene@gmail.com'; 'elliottwilliamson@yahoo.ca'; 'Sue Lillemo'

**Cc:** [Shelagh Graham](#); [Kurt Fisher](#); [Chelsea King](#); [Maureen Gaehring](#)

**Sent:** Friday, May 31, 2019 5:01 PM

**Subject:** Upcoming WARP Meeting

Hi everyone,

Thank you so much for your patience. I am looking forward to seeing you again!

I propose we meet **Thursday June 13<sup>th</sup>** at our regular meeting location (City Hall) **from 5pm to 8pm with supper provided.**

I understand that it is outside our regular meetings schedule, so if this doesn't work for you, please respond to this email and share your concern.

The change from 2 to 3 hour meeting should allow more time to discuss the draft policies. The only item on the agenda will be reviewing the draft policies. I recommend you have a look at the document before the meeting, it is a 20 page document and it will be helpful if you are familiar with it.

Thank you for your commitment.

Have a great weekend!

[Genesis Hevia Orio](#),

Community Planner II

Planning and Development

City of Lethbridge

910 – 4<sup>TH</sup> Avenue South· Lethbridge · Alberta · T1J 0P6

Phone: 403.329.7392 Fax: 403.327.6571

Email: [genesis.heviaorio@lethbridge.ca](mailto:genesis.heviaorio@lethbridge.ca)

<image003.jpg>



---

**BUILDING PERMIT**

**DEV PERMIT**

**DEV11392**

---

**Water and Wastewater Services**

- New sanitary and water services are required.

**Electric Operations**

- Metering location may not be acceptable depending on servicing style required.
- Contact electric design well ahead of construction. [electricdesign@lethbridge.ca](mailto:electricdesign@lethbridge.ca)
- allow at least 8 weeks for servicing.

**Building Inspection Services**

- No comments

**Planning**

- Planning strongly opposes this proposal.
- Approving this two-unit dwelling would contradict a policy in the upcoming Westminster Area Redevelopment Plan drafted through extensive dialogue with the neighborhood stakeholders; supporting this proposal would be disrespectful to the concerns and input of the neighborhood stakeholders.
- The upcoming Westminster Area Redevelopment Plan identifies the area between 1st Ave N and 2nd Ave N from 13 St N to Mayor Magrath Drive N at risk of detrimental impacts of a potential derailment off the rail tracks along 1st Ave N. for this reason any additional density in this area is prohibited. The goal with prohibiting additional density is to prevent the increase of dwelling units and therefore individuals at risk.

***Joshua Bouelle***

Development Officer

[Joshua.Bouelle@lethbridge.ca](mailto:Joshua.Bouelle@lethbridge.ca)

403-320-4193



# City of Lethbridge: Intersection Summary

Northbound Street: 13 St N	RTOR	Y	Speed	50	Heavy Veh %	2	Next Signal	103	Median Wth		Bus Route	Y
Eastbound Street: 2 Ave N	RTOR	Y	Speed	50	Heavy Veh %	1	Next Signal		Median Wth		Bus Route	N
Southbound Street: 13 St N	RTOR	Y	Speed	50	Heavy Veh %	2	Next Signal	355	Median Wth	1.3	Bus Route	Y
Westbound Street: 2 Ave N	RTOR	Y	Speed	50	Heavy Veh %	2	Next Signal		Median Wth		Bus Route	Y
Weather: 10.5°C	Persons Challenged by Mobility Issues				N	Adjacent to Elementary School		N	Pathway for School		N	N
Date: Tue, Feb 9, 2016	Counted By		MioVision	Intersection		N-010	Senior Centre or Junior High		N	CBD		N
Notes: Site Code N-010												

AM	NORTHBOUND			SOUTHBOUND			EASTBOUND			WESTBOUND			Crosswalks					15 Minute Totals	60 Minute Totals	Peak Hour	
	NBL	NBT	NBR	SBL	SBT	SBR	EBL	EBT	EBR	WBL	WBT	WBR	North	South	East	West	Total				
	7:00 - 7:15	6	48	13	6	53		2	2	1	9	2	8	1	2						3
7:15 - 7:30	8	61	19	10	83	1	2	2		12	3	7		1			1	208			
7:30 - 7:45	6	87	29	16	123	2	5	1	3	10	9	10	1		2	3	6	301			
7:45 - 8:00	13	114	21	20	146	2	3	3	3	36	4	24		2	2	1	5	389	1048		
8:00 - 8:15	8	98	19	14	112	1	3		2	13	4	27	1			2	3	301	1199		
8:15 - 8:30	14	93	21	10	109	1		3	5	32	7	29	2	1	1	1	5	324	1315		
8:30 - 8:45	15	88	19	19	115	1	2	7	5	37	9	27		2			2	344	1358	7:45-8:45	
8:45 - 9:00	19	101	13	14	114	8	5	3	9	32	7	24	1		1	3	5	349	1318		
Peak Hour:	50	393	80	63	482	5	8	13	15	118	24	107	3	5	3	4				PHF: 0.87	
PHF:	0.83	0.86	0.95	0.79	0.83	0.63	0.67	0.46	0.75	0.80	0.67	0.92									

MID	NORTHBOUND			SOUTHBOUND			EASTBOUND			WESTBOUND			Crosswalks					15 Minute Totals	60 Minute Totals	Peak Hour	
	NBL	NBT	NBR	SBL	SBT	SBR	EBL	EBT	EBR	WBL	WBT	WBR	North	South	East	West	Total				
	11:00 - 11:15	36	108	11	20	108	8	11	12	13	20	16	22			2	3				5
11:15 - 11:30	26	123	13	19	106	3	11	11	10	19	16	26		1	2	3	2	8	383		
11:30 - 11:45	27	121	8	20	117	7	13	17	15	24	12	30	1	1	1	2	5	411			
11:45 - 12:00	25	129	18	23	124	2	16	15	16	20	14	40		1	2	2	5	442	1621		
12:00 - 12:15	33	144	14	23	139	6	12	19	20	26	12	34	3	1		2	6	482	1718		
12:15 - 12:30	27	136	12	30	141	5	5	7	25	20	18	25		2		3	5	451	1786		
12:30 - 12:45	30	128	11	22	138	6	7	11	12	25	13	22	2	2	3	6	13	425	1800		
12:45 - 13:00	31	115	20	23	143	7	14	13	18	40	15	31	2	4	4	2	12	470	1828	12:00-13:00	
Peak Hour:	121	523	57	98	561	24	38	50	75	111	58	112	7	9	7	13				PHF: 0.95	
PHF:	0.92	0.91	0.71	0.82	0.98	0.86	0.68	0.66	0.75	0.69	0.81	0.82									

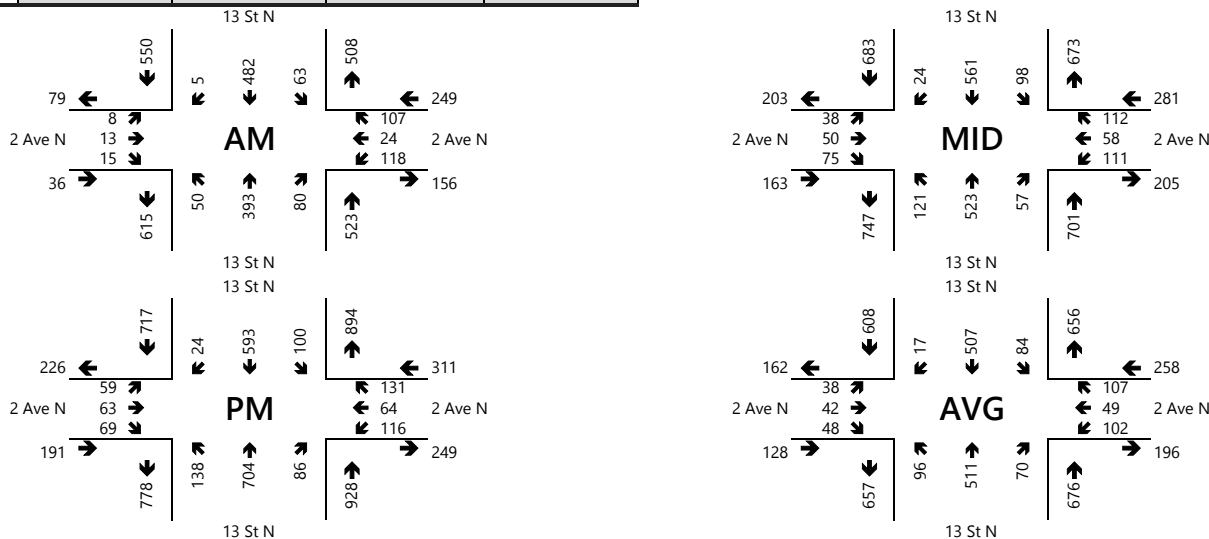
PM	NORTHBOUND			SOUTHBOUND			EASTBOUND			WESTBOUND			Crosswalks					15 Minute Totals	60 Minute Totals	Peak Hour	
	NBL	NBT	NBR	SBL	SBT	SBR	EBL	EBT	EBR	WBL	WBT	WBR	North	South	East	West	Total				
	15:00 - 15:15	29	187	24	24	138	7	11	14	16	26	17	37		2	4	1				7
15:15 - 15:30	23	155	11	28	127	3	17	18	20	27	25	32		2	3	1	6	486			
15:30 - 15:45	27	174	22	28	149	3	10	10	17	34	15	32	2	1		4	7	521			
15:45 - 16:00	37	171	18	22	151	9	14	15	19	29	10	42		2	3	3	8	537	2074		
16:00 - 16:15	34	173	21	26	156	4	21	16	12	32	16	24		5	4	4	13	535	2079		
16:15 - 16:30	26	169	23	21	126	5	13	16	12	26	21	28	1	4	2	7	14	486	2079		
16:30 - 16:45	41	191	24	31	160	6	11	16	26	29	17	37	3	4	2	1	10	589	2147	15:45-16:45	
16:45 - 17:00	27	149	18	27	154	5	12	17	10	37	13	23		2	1	3	6	492	2102		
17:00 - 17:15	34	189	22	29	149	7	19	18	16	21	16	39	2	3	3	9	17	559	2126		
17:15 - 17:30	14	143	10	14	159	4	15	14	19	19	14	27	2			3	5	452	2092		
Peak Hour:	138	704	86	100	593	24	59	63	69	116	64	131	4	15	11	15				PHF: 0.91	
PHF:	0.84	0.92	0.90	0.81	0.93	0.67	0.70	0.98	0.66	0.91	0.76	0.78									

6 Hour Average	96	511	70	84	507	17	38	42	48	102	49	107	4	7	7	11				
Approach Lanes	1	2	0.5	1	2	0.5	1	1	1	1	1	0.5								
Departure Lanes	2		2			1			1											

Warranted

Pedestrian Points: 15  
 Vehicle Points: 200  
 Total: 215

2 Hour PM Range Used for Vehicles: 15:15 to 17:15  
 2 Hour PM Range Used for Pedestrians: 15:15 to 17:15



# City of Lethbridge: Intersection Summary

Northbound Street: <b>18 Street N</b>	RTOR	Y	Speed	50	Heavy Veh %	Next Signal	400	Median Wth	Bus Route	Y
Eastbound Street: <b>2 Avenue N</b>	RTOR	Y	Speed	50	Heavy Veh %	3	Next Signal	400	Median Wth	Y
Southbound Street: <b>18 Street N</b>	RTOR	Y	Speed	50	Heavy Veh %	9	Next Signal	400	Median Wth	N
Westbound Street: <b>2 Avenue N</b>	RTOR	Y	Speed	50	Heavy Veh %	2	Next Signal	515	Median Wth	N
Weather: <b>0°C</b>	Persons Challenged by Mobility Issues: <b>N</b>				Adjacent to Elementary School: <b>N</b>		Pathway for School: <b>N</b>			
Date: <b>Tue, Jan 29, 2019</b>	Counted By: <b>MioVision</b>				Intersection: <b>N-015</b>		Senior Centre or Junior High: <b>N</b>		CBD: <b>N</b>	
Notes:										

AM	NORTHBOUND			SOUTHBOUND			EASTBOUND			WESTBOUND			Crosswalks					15 Minute Totals	60 Minute Totals	Peak Hour
	NBL	NBT	NBR	SBL	SBT	SBR	EBL	EBT	EBR	WBL	WBT	WBR	North	South	East	West	Total			
	7:00 - 7:15			1	3		1	1	21	1		12	1							
7:15 - 7:30			3				5	1	35			24	1					69		
7:30 - 7:45			1	5		2	5	48		1	26	1						89		
7:45 - 8:00	2			6		6	4	50			38	5		1			1	111	310	
8:00 - 8:15			1	4		5	5	44		2	37	4				3	3	102	371	
8:15 - 8:30	2			12		12	8	31		1	43	4						113	415	
8:30 - 8:45	2			8		9	5	48			38		1			1	2	110	436	7:45-8:45
8:45 - 9:00	5					6	2	36		1	58	1						109	434	
Peak Hour:	6		1	30		32	22	173		3	156	13	1	1		4				PHF: 0.96
PHF:	0.75		0.25	0.63		0.67	0.69	0.87		0.38	0.91	0.65								

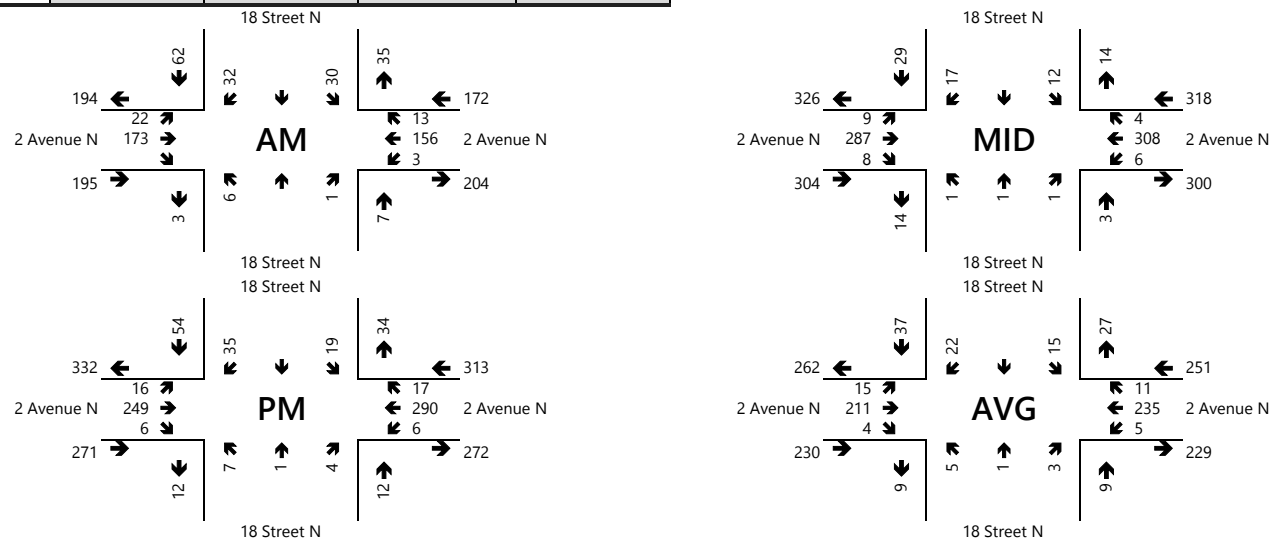
MID	NORTHBOUND			SOUTHBOUND			EASTBOUND			WESTBOUND			Crosswalks					15 Minute Totals	60 Minute Totals	Peak Hour
	NBL	NBT	NBR	SBL	SBT	SBR	EBL	EBT	EBR	WBL	WBT	WBR	North	South	East	West	Total			
	11:00 - 11:15	1		3	2		7	2	46		1	56	2	1						
11:15 - 11:30	2			3		6	4	43		1	44	2						105		
11:30 - 11:45				3		4	7	54		2	57	3		1			1	130		
11:45 - 12:00	1	1		2		3	2	52	2	1	73	4		2			2	141	496	
12:00 - 12:15				3		1	5	65	3	3	79	4						163	539	
12:15 - 12:30				4		9		84	3	2	69		1				1	171	605	
12:30 - 12:45	1			3		2	4	61			74		2			1	3	145	620	
12:45 - 13:00		1	1	2		5		77	2	1	86							175	654	12:00-13:00
Peak Hour:	1	1	1	12		17	9	287	8	6	308	4	3			1				PHF: 0.93
PHF:	0.25	0.25	0.25	0.75		0.47	0.45	0.85	0.67	0.50	0.90	0.25								

PM	NORTHBOUND			SOUTHBOUND			EASTBOUND			WESTBOUND			Crosswalks					15 Minute Totals	60 Minute Totals	Peak Hour
	NBL	NBT	NBR	SBL	SBT	SBR	EBL	EBT	EBR	WBL	WBT	WBR	North	South	East	West	Total			
	15:00 - 15:15			1	2		4		6	56		2	57	4						
15:15 - 15:30	3	1		3		6	7	58		1	63	7	2	1		2	5	149		
15:30 - 15:45	1		1	6		17	4	57	1	3	75	5	1			2	3	170		
15:45 - 16:00	1		1	7		8	4	62	2	2	79	4	3	2			5	170	623	
16:00 - 16:15	2	1	2	3		2	6	64		1	71	4	1			1	2	156	645	
16:15 - 16:30	3			3		8	2	66	3		65	4				1	1	154	650	15:30-16:30
16:30 - 16:45	2		3	3		3	5	62	3	2	85	2				1	1	170	650	15:45-16:45
16:45 - 17:00	1		2	1		5	2	52	2	5	73	2	2				2	145	625	
17:00 - 17:15			1	4		2	7	50	2	1	82	5	1	1		1	3	154	623	
17:15 - 17:30	2		2	2		5		44	2	1	59	4				3	3	121	590	
Peak Hour:	7	1	4	19		35	16	249	6	6	290	17	5	2	1	3				PHF: 0.96
PHF:	0.58	0.25	0.50	0.68		0.51	0.67	0.94	0.50	0.50	0.92	0.85								

6 Hour Average	5	1	3	15		22	15	211	4	5	235	11	3	1	0	2
Approach Lanes	0.5	1	0.5	0.5	1	0.5	0.5	1	0.5	0.5	1	0.5				
Departure Lanes	1			1			1			1						

Not Warranted

2 Hour PM Range Used for Vehicles: 15:15 to 17:15  
 2 Hour PM Range Used for Pedestrians: 15:15 to 17:15  
 Pedestrian Points: 1  
 Vehicle Points: 10  
 Total: 11





Pat Emman  
135-15 ST NO



Thomas Callaghan  
CITY OF 123-14th St NO,  
Lethbridge  
Mikayla Wright  
113 14th St N  
Munich

PLANNING AND DEVELOPMENT SERVICES

1st Floor City Hall  
910 - 4 Avenue South  
Lethbridge, AB T1J 0P6

Phone No. 403-320-3920  
Fax No. 403-327-6571  
developmentsservices@lethbridge.ca

July 15, 2019 This building should be all eaved.  
It will be proze the area, Not chains detailed  
Luzon Vozila  
14 ST N - 127  
**NOTICE TO NEIGHBOURS**  
This letter is being sent to property owners  
within a 60m radius of: Mrs. & Mr. [Signature]

141 14 Street North

You were previously informed that an application had been received to construct a new two-unit dwelling on a previously developed parcel at the above noted address. The four (4) required off-street parking stalls will be provided.

No decision on this application has been made. This application will be considered by the **Municipal Planning Commission on July 30, 2019, at 3:00 p.m. in Council Chambers**, Main Floor of City Hall.

If you feel you will be impacted by this development, please explain how and why in writing and it will be submitted to the Commission. You may mail, email, or deliver it to the Development Services Department for receipt not later than **4:30 p.m. on July 29, 2019**. In addition or alternatively, you may speak to the Commission at the meeting. Please note that if you wish to present on or speak to an application, you will be limited to a 5 minute timeframe. All written material previously submitted to this office will be presented to the Commission. Please note that all information you provide will be made public.

[Signature]

Joshua Bourelle  
Development Officer

cc: Applicant

140 14th St N  
- Curtis Goodman

Emile 132 14 St. N  
119 & 121 18th Street North  
Barry Jordan.

Jesse 8891 Smith@hotmail.com  
105 Emile

RANNIE & JANE LLANERA  
141 44 ST. N

[Signature]  
114 14 ST. N.  
July 27/2019

Susan Panichuk 122-15 St. N.

FOIP

Any personal information provided in response to this letter is collected under the Alberta Municipal Government Act and in accordance with Section 33(c) of the Freedom of Information and Protection of Privacy Act. **Please note that such information may be made public.** If you have any questions about the collection or use of the personal information provided, please contact Information Management at 910 4 Ave S, Lethbridge, AB, T1J 0P6 or phone at (403) 320-7329.

At 11, 30x 15 ST N

201 14<sup>th</sup> N (403 3086216)

Brandon Davidson

Full support of 141 14<sup>th</sup> North Redevelopment

212 14<sup>th</sup> North We have no problem with a duplex  
going up at 141 14<sup>th</sup> North. Latone 12d any?  
403 892-3142

- 156-14 ST NORTH DEBBIE DUNN

I support the duplex on 147-14 ST NORTH  
Rabbit Motel

- Same as above.

124 14 ST N ~~Matt~~

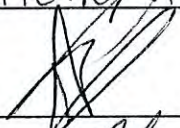
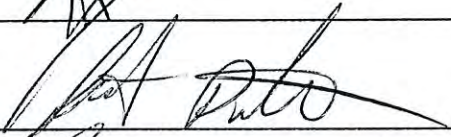

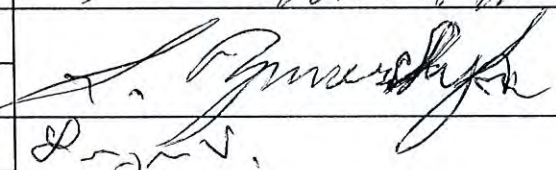
127-15 ST N. B. Heber - 141-14 ST N.



The Westminister Village Committee is opposing the application from Yohannes Golom to remove the existing house at 141 14 Street North and to replace it with a new duplex We believe that the Westminister area will be benefitted by this construction.

We have come to believe that decisions made by the Westminister Village Committee are not established through consultation with people of the area.

Please sign the form below to confirm if you have not been consulted or informed of the intentions to oppose construction in the Westminister area.

Name	Laurie Coyer		
Name	Richard McCain. R.C.		
Name	Brittney Haugen		
Name			
Name			
Name	Sylvia Old		
Name	B M Deak		
Name			
Name	Belle Mitchell-Ramms		
Name			
Name	D. Jones		
Name	Edgar Trujeda		





This is a petition to support the construction of a new duplex at 141 14 Street North. By providing my address and by signing this petition I agree that this project should be approved and that it will be a positive and renewing addition to our neighbourhood

		Comments
Address	11314 St N	Good for the neighborhood
Name	Shawn Yeart-Gemmill	
Contact information	403-745-0511	
Address	121 14 St N	Need more neighborhood Improvement.
Name	Keith Hayes	
Contact information	780 265 0986	
Address	123 - 14 <sup>th</sup> N	Need to be done
Name	Tom Callaghan	
Contact information	403 320 7882	
Address	119 & 121 18th St. North	Will improve the look in the neighborhood
Name	Rory Jordan	
Contact information	403-315-9443	
Address	132-15 St. No.	Will make the neighborhood look better
Name	V. EMERSON	
Contact information	403 330-8205	

**This is a petition to support the construction of a new duplex at 141 14 Street North.**

**By providing my address and by signing this petition I agree that this project should be approved and that it will be a positive and renewing addition to our neighbourhood**

Comments

Address	140 14 ST N				
Name	Curtis Goodman				
Contact information	393 4085				
Address	136-14 ST NORTH				
Name	DEBBIE ANGLIK				
Contact information	230 888 8236				
Address	129-14 ST. No.				
Name	LAVRIE ZMURCHYK				HAVE NO PROBLEM WITH HIS PLANS FOR A BUILDING
Contact information	403-328-9910				
Address	127-14 ST N				
Name	Gene Venable				
Contact information	403-320-9596				
Address	123-14 ST N				
Name	No one Home				
Contact information					



**This is a petition to support the construction of a new duplex at 141 14 Street North.**

**By providing my address and by signing this petition I agree that this project should be approved and that it will be a positive and renewing addition to our neighbourhood**

Comments

Address	202-15 St. N				
Name	Laurie Cayer				
Contact information	(403) 328-0742				
Address	206 15 St N				
Name	Richard Mc Cain				
Contact information	(403) 715-5639				
Address	210-15 St N				
Name	No one home				
Contact information					
Address	201 14th street N				
Name	Britney Haugen				
Contact information	(403) 915-2262				
Address	132 14 St N				
Name	Aagen Andil				
Contact information	anctil-a@hotmail.com				





This is a petition to support the construction of a new duplex at 141 14 Street North. By providing my address and by signing this petition I agree that this project should be approved and that it will be a positive and renewing addition to our neighbourhood

		Comments
Address	122 14 STREET	Improving the neighbourhood No drugs
Name	U Zuidema	
Contact information		
Address	130 14 St N	
Name	No on Home.	
Contact information		
Address	126 14 St N	
Name	No on Home.	
Contact information		
Address	116 14 St. N.	There in two other simi- lar buildings in the block and they never did this.
Name	EDGAR GRANEDA	
Contact information	(403) 795-3712	
Address	114 14 <sup>st</sup> N. Lethbridge	
Name	APRIL STEWART	
Contact information	403 315 0742	

**This is a petition to support the construction of a new duplex at 141 14 Street North. By providing my address and by signing this petition I agree that this project should be approved and that it will be a positive and renewing addition to our neighbourhood**

		Comments
Address	120-15 St. N.	It will improve the neighbourhood.
Name	D. & H. Scholten	
Contact information	403-328-7415	
Address	103 14th St. N.	
Name	RANNIE LANERA	
Contact information	403 331 9831	
Address		
Name		
Contact information		
Address		
Name		
Contact information		
Address		
Name		
Contact information		



**From:** Ted [mailto:info@southernmonument.ca]

**Sent:** Wednesday, August 28, 2019 4:07 PM

**To:** David Sarsfield <David.Sarsfield@lethbridge.ca>

**Subject:** 141 14st no.

hi there I feel the only problems with this property is the after looking at the plans there is no problem converting the building in to 4 plex with very little remodeling, also they say they are needing 4 off street parking, the plans show a drive way on the west side for 2, and I think they a planning to use the garage built on the east side of the property as 2 more, this garage has been finished and is rented to two different party's, thank you ted

**From:** Darlene McLean [<mailto:frivory@telusplanet.net>]

**Sent:** Tuesday, August 13, 2019 11:14 AM

**To:** David Sarsfield <[David.Sarsfield@lethbridge.ca](mailto:David.Sarsfield@lethbridge.ca)>

**Subject:** re: appeal decision to approve app# DEV11392

Westminster Village Committee has decided to appeal the decision put forth on July 30, 2019 (at MPC) for address # 141-14 street north. We agree with the position of the community planning department, and some residents.

Darlene McLean

landuse committee for WVC

Westminster Village Committee, 210A-12A Street North, Lethbridge, AB T1H 2J1.

Email responses to : [wvc@shaw.ca](mailto:wvc@shaw.ca) are best and get to more members sooner.

With holidays and all, at this time, the best phone number is: 403 328-8602.



Wednesday, February 15, 2017

Good evening,

WNA

would like to welcome all of you to our Westminster Neighborhood Association Annual General Meeting. My name is George Duncan and I am the President of the Association.

Thanks to all of you for attending this evening. Your commitment to this Community and this Association is truly appreciated.

First off, I would like to thank all of the Directors of the Westminster Neighborhood Association for their countless hours of volunteering.

Secondly, none of our work would take place if it wasn't for the continued commitment and support from the City of Lethbridge. Our partnership is key to keeping this building and pool open and available to our community.

Lastly, but by no means least, our employees. From our Office Coordinator Marney Brown, who keeps this Community Center and our Association running smoothly, to our many lifeguards who kept our pool a safe, clean and entertaining environment for our many patrons all summer.

This was a very positive year for the Community Center. We saw an increase in rentals and use of this community space. This will be a primary focus of the Association for this year and going forward.

The Westminster Outdoor Public Pool realized a significant downturn in public usage in 2016. Factors included the erratic weather and the grand opening of the renovated and upgraded Henderson Lake Pool. There is a plan being finalized to reduce our operating costs, staffing levels and ways to increase general public use.

I hope to build on our achievements and have another successful year in 2017. With the continued dedication of all involved, working together, we will succeed.

Again, thank you for your coming out tonight. If you have any questions, comments or concerns please speak with any of the Westminster Neighborhood Association Directors or email the office.

Thank you.



George Duncan

this proposal.

- 1) what is current traffic volume right by this property?
- 2) when was last noise assessment done for the residents along 2 avenue north, like the city yearly assesses for other hoods? vehicle noise etc.
- 3) how many city staff decide on whether MPC or SDAB meetings for certain hoods? Just one?
- 4) Westminster is one of the highest (30 units per hectare) hoods for density already.
- 5) Much of Westminster is in zone 10 - highest calls for service for police.
  - More to follow, background info etc.

### City of Lethbridge Departments

#### **Water and Wastewater Services**

- New sanitary and water services are required.

#### **Electric Operations**

- Metering location may not be acceptable depending on servicing style required.
- Contact electric design well ahead of construction.  
electricdesign@lethbridge.ca
- allow at least 8 weeks for servicing.

#### **Building Inspection Services**

- No comments

#### **Planning** *city planning department*

- Planning strongly opposes this proposal.
- Approving this two-unit dwelling would contradict a policy in the upcoming Westminster Area Redevelopment Plan drafted through extensive dialogue with the neighborhood stakeholders; supporting this proposal would be disrespectful to the concerns and input of the neighborhood stakeholders.



*P. 5 of 8*



CITY OF

*Lethbridge*

## **Municipal Planning Commission**

**July 30, 2019**

New Business

**5.1**

Page 6 of 8

*P. 6 of 8.*

- The upcoming Westminster Area Redevelopment Plan identifies the area between 1st Ave N and 2nd Ave N from 13 St N to Mayor Magrath Drive N at risk of detrimental impacts of a potential derailment off the rail tracks along 1st Ave N. for this reason any additional density in this area is prohibited. The goal with prohibiting additional density is to prevent the increase of dwelling units and therefore individuals at risk.



212

140 14 ST N



Tax Class

DWELLING WITH 2 OR 3 UNITS

Tax Status

Taxable - Residential

Assess

2019

2018

2017

Total (\$)

153,900

153,900

148,200

Est. Tax

2019

2018

2017

Total (\$)

1,738.63

1,709.32

1,565.15

Property

Assessment & Tax

140



137 14 ST N



Tax Class	FOUR-PLEX		
Tax Status	Taxable - Multi-Family		
<b>Assess</b>	<b>2019</b>	<b>2018</b>	<b>2017</b>
Total (\$)	347,100	347,100	347,100
<b>Est. Tax</b>	<b>2019</b>	<b>2018</b>	<b>2017</b>
Total (\$)	5,407.27	5,316.63	4,987.63

Property

Assessment & Tax





The Transportation Safety Board of Canada (TSB) investigated this occurrence for the purpose of advancing transportation safety. It is not the function of the Board to assign fault or determine civil or criminal liability.

## Railway Occurrence Report

### Derailment

Canadian Pacific Limited  
Mile 108.05, Taber Subdivision  
Lethbridge, Alberta  
17 October 1994

Report Number R94C0137

### *Synopsis*

Canadian Pacific Limited (CP) freight train No. CP 971-14, travelling westward on the Taber Subdivision, derailed six tank cars containing methanol at Mile 108.05 in Lethbridge, Alberta. Four of the derailed cars lost product and approximately 230,700 litres of methanol was released. A 20-square-block area of the city was evacuated and secured by police until the spilled and remaining methanol was removed from the site. There were no injuries as a result of the accident or the product spill.

The Board determined that the derailment was caused by a rail fracture which was initiated by the propagation of undetected fatigue cracks in rail that had worn beyond condemnable limits.

Ce rapport est également disponible en français.

residents evacuated.



## FACTUAL INFORMATION

Broken pieces of the section of the missing south rail were found at the site. One piece, comprised of the base and web and measuring 24 inches in length, matched the westerly fracture at the intact south rail. The web displayed a well-oxidized crack.

The pieces of broken rail were forwarded to CP Rail Systems Test Department in Winnipeg, Manitoba, for examination.

### 1.11 Dangerous Goods

#### 1.11.1 The Product

Methanol (methyl alcohol), Class 3.2, U.N. 1230, is a colourless flammable and poisonous liquid. The flash point is 11 degrees Celsius. It is a fire hazard and its vapours present the risk of explosion. The lower explosive limit of methanol is 6.0 per cent and the upper explosive limit is 36.5 per cent by volume. Vapours are heavier than air and will spread along ground and collect in low and confined areas such as sewers and basements. It is considered to be a human poison by ingestion and skin contact in that it affects the nervous system. Death can occur from ingestion of less than 30 millilitres (about one ounce).

#### 1.11.2 Emergency Response

At approximately 0630, a truck driver travelling on Highway No. 3 witnessed the derailment and immediately telephoned for an emergency response. The police and fire department arrived within seven minutes. The fire department and police followed the City of Lethbridge Emergency Response Action Plan and evacuated a 20-block area and shut off the electric power and natural gas supply to the area.

A CP command post was set up on Highway No. 3, approximately 1,000 metres upwind from the derailment site. The site command post was set up at the derailment site approximately 100 metres from the nearest tank car. The site command post was controlled by the fire department and access to the area was restricted.

Representatives from the emergency response teams from the railway, the shipper, Alberta Environment and Transport Canada were on site assisting and overseeing the containment and reclamation of the methanol.

Two dikes were built in sequence to contain the flow of methanol into pools. The methanol was diluted with water and pumped into tanker trucks and disposed of at authorized waste areas. The derailed tank cars were emptied, then purged and removed. The contaminated soil was excavated and transported to a designated site. Approximately 56,000 litres of methanol was lost to the environment.

Fire-fighting units and emergency response vehicles gained access to the site via the highway to the south and through a private entrance gate on the north side of the track. The fire department supplied

CP rail now has 3 tracks  
running.

However, the transport of a variety of very hazardous products in such cars continues.

2.4 *Dangerous Goods with Poison Inhalation Hazards*

In this derailment, there was a large release of a flammable and poisonous product in an urban area, close to commercial establishments. That product was one of a number of toxic and volatile compounds that are still permitted to be carried by Class 111A tank cars. The decision to evacuate was taken primarily to control the accident scene from sources of ignition. In other recent cases, evacuations were carried out because of concerns either with the dangerous characteristics of the liquid, or to allay fears that persons may have had with fuming clouds or unusual odours. While evacuations solely to appease public concern may be unnecessary, it is also true that other decisions to evacuate have been taken based on inhalation hazards (such as acetic anhydride).

