



CITY OF
Lethbridge

Office of the City Clerk

May 27, 2019

RE: NOTICE OF HEARING - SUBDIVISION AND DEVELOPMENT APPEAL BOARD

An appeal has been filed on the granting of Development Permit DEV 11073 by the Municipal Planning Commission to establish a childcare minor with 50 children and 9 staff members at 250 McMaster Boulevard West.

When an appeal is filed with the Subdivision and Development Appeal Board (SDAB), all persons who own property within 200 feet or 60 meters of the development are notified of the hearing by way of this letter. In addition, the owner of the property will also receive a copy of this letter.

The Subdivision and Development Appeal Board (SDAB) will hold a Public Hearing as follows:

DATE:	Thursday, June 20, 2019
TIME:	6:00 p.m.
LOCATION:	Council Chambers, Main Floor, City Hall 910 – 4 Avenue South

Persons affected by this development have the right to present a written, verbal and/or visual submission to the Board. When making a presentation, keep in mind that in accordance with the legislation that governs the SDAB, the Board can only consider relevant planning matters when rendering its decision. It is recommended that you limit your presentation to five minutes.

If you wish to submit written material to the Board, it should be delivered to the Secretary of the SDAB, no later than 12:00 noon on the Wednesday prior to the hearing. If you are unable to meet this submission deadline, please bring 12 copies of the materials to the Hearing and it will be distributed at the start of the Hearing. Any written and/or visual material received will be made available to the public.

We will be pleased to answer any questions you may have regarding the appeal and can also provide information or advice on Board procedures and how to make presentations to the Board. Please feel free to contact me at 403 329 7329 if you have any questions.

Yours truly,

David Sarsfield
Board Secretary,
Subdivision and Development Appeal Board



CITY OF
Lethbridge

NOTICE OF A SUBDIVISION AND DEVELOPMENT APPEAL BOARD HEARING

DATE: Thursday, June 20, 2019

PLACE: Council Chambers, 1st Floor
City Hall - 910 - 4th Avenue South

TIME: 6:00 p.m.

AGENDA:

1. CALL TO ORDER

PRESENTATIONS:

- 2.1 **SDAB No. 2019-06**
APPEAL OF DEVELOPMENT PERMIT DEV11073

Appellant: Edward Grant

Address: 250 McMaster Boulevard West

To establish a childcare minor with 50 children and 9 staff members

Land Use District: R-L, Low Density Residential

Letter of Appeal
Regarding Develop Permit Request for 250 McMaster Blvd West
Land Use Bylaw 5700

222 McMaster Blvd. West
Lethbridge, AB
T1K 4R3
May 21, 2019

Secretary of the Subdivision and Development Appeal Board
City Clerk's Office
2nd Floor
910 – 4 Ave. South
Lethbridge, AB
T1J 0P6

CITY OF LETHBRIDGE
RECEIVED

MAY 21 2019

OFFICE OF THE
CITY CLERK

As regards this request for Land Use Bylaw change for the subject address: I feel that this should NOT be granted. The grounds for this belief are as follows: space density and traffic congestion.

- 1) I do not believe that there is adequate space for 50 children to be safely cared for in the space provided by this dwelling and its yard. Being that the property is on a corner, the back lawn area is triangular and quite small and therefore does not provide adequate play space for 50 children.

- 2) With 9 staff members and “only” 5 off-street parking spots there will be no space for parking of parents dropping off and picking up children (as the off-street parking would undoubtedly be used by staff). Therefore it is reasonable to expect that parents will be parking along both McMaster and Temple Boulevards and creating congestion in front of the homes of neighbouring residents. Please consider that the times of the day when most parents will be dropping off or picking up their children will be right during the morning and afternoon rush hours. With the significant increase in traffic around this intersection ever since the Copperwood and Sunridge developments (and in all probability an extension to Sunridge given the location of the new Joyce Fairbairn school), I have been waiting for the city planners to determine that a set of control lights need to be installed at this intersection. Drivers frequently seem to “assume” that there are two lanes of traffic South-bound along McMaster Blvd so that they may make a right turn onto Temple. I have often seen drivers travelling both north and south along McMaster actually speed up as they approach the intersection so they can cross before pedestrians can activate the pedestrian lights to and from Nicholas Sheran Park. If the city allows this by-law change as proposed it is only a matter of time before a child is struck by a passing vehicle. Simply put, since I moved to McMaster Boulevard in 1998, it has slowly become a high volume thoroughfare on which street parking is less and less tenable..

- 3) That the person(s) requesting this Land Use Development Request asked for permission for 50 students and 9 staff members appears to me that they are taking a polarized “negotiating position” rather than making a more reasonable, down-sized request and therefore the request should be denied outright.

Yours truly,

A handwritten signature in black ink, appearing to read "Edward Grant", with a long horizontal flourish extending to the right.

Edward Grant
222 McMaster Boulevard West
Lethbridge, AB
T1K 4R3
1edgrant@telus.net
403-320-9150



Address: **250 MCMASTER BLVD W**
Legal: 7710705;31;15

District: R-L

Applicant: IRWIN, EVA
Address: 2 NORTHLANDER RD W LETHBRIDGE AB T1J 5G7

Phone: (403) 795-1120

Development Proposed To establish a childcare minor with 50 children and 9 staff members.
Hours of Operation: Monday - Friday (7 am - 5:30 pm)

District R-L LOW DENSITY RESIDENTIAL

Land Use CHILD CARE, MINOR - DISCRETIONARY

CONDITIONS OF APPROVAL

1. Maximum number of children: 50. Maximum number of staff: 9
The applicant must obtain and maintain the relevant provincial license.
2. Off-street Parking: A waiver of 5 off street parking spaces shall be granted, thereby requiring 4 off street parking spaces to be provided and maintained for this use, 2 of which, must be signed and maintained for loading/unloading spaces.
3. Hours of operation: Monday thru Friday 7:00 a.m. to 5:30 p.m.

Decision Date

May 07, 2019

Valid Date

Jun 03, 2019

Development Commencement

Provided this decision is not appealed, development shall commence:

- on or after the valid date, and
- within one year of the valid date.

Development may commence before the valid date only if the applicant has signed the "Voluntary Waiver of Claims" and is in receipt of this signed permit.

Development Authority

MAUREEN GAEHRING, SECRETARY TO MPC

STATUTORY PLANS

The SSRP and applicable municipal statutory plans were considered in rendering this decision.

APPEALS

The applicant has the right to appeal this decision to the Subdivision and Development Appeal Board. An appeal shall contain a statement of the grounds of appeal and shall be delivered either personally or by Registered Mail so as to reach the Secretary of the Subdivision and Development Appeal Board not later than twenty-one (21) days after the decision date indicated on the Development Permit or 'Development Permit Application - Refused' letter.

FOIP

The personal information provided as part of this permit is collected under the Alberta Municipal Government Act and in accordance with section 33(c) of the Freedom of Information and Protection of Privacy Act. The information is required and will be used for issuing permits, Land Use By-law 5700 compliance verification and monitoring, and property assessment purposes. The name of the permit holder and the nature of the permit is available to the public upon request and may be revealed in public appeal processes.

If you have questions about the collection or use of the personal information provided, please contact Information Management at 910 4 Ave S Lethbridge, AB, T1J 0P6 or phone at (403) 329-7329, or email developmentsservices@lethbridge.ca.

City of Lethbridge

**Planning and
Development
Services**

910 - 4th Avenue South
Lethbridge, AB
T1J 0P6

General #: 403-320-3920
Inspection #: 403-320-3830
Fax #: 403-327-6571

Development Permit Application

LAND USE BYLAW 5700 - FORM A

BP _____
DEV 11073

Project Address: _____

Unit / Bay # _____

Civic Address 250 McMaster Blvd W

Date: Feb 5 / 2019

Access Code: _____

Property Owner

Applicant

Name: Eva Irwin

Paid

Address: 250 McMaster Blvd. W
Lethbridge, AB T1K 4R3

Phone: 403-795-1120 Fax: N/A

Signature: E Irwin

Land Owner Consent

The owner of this property knows the full details of the proposed development and knows I am making this development application.

Yes No

Applicant

Name: Eva Irwin

Paid

Address: 2 Northlander Rd W
Lethbridge T1J 5G7

Phone: 403-795-1120 Fax: N/A

Signature: E Irwin

B/L #: 16111

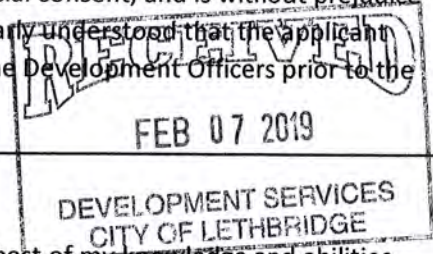
Details of Proposed Development

Childcare ~~major~~ minor
50 children
9 staff
Jan - 5:30 pm. (mon - Friday)
closed on holidays
R-L Lot - 820.7h²

Be Advised

*Where the wild things grow @ hotmail.ca
575 + 50 = 425.00*

Although the Development Officers of the City of Lethbridge are in a position to advise on the principle or details of proposals, such advice must not be taken in any way as an official consent, and is without prejudice to the decision in connection with the formal application. It must be clearly understood that the applicant shall not proceed with the development based on comments made by the Development Officers prior to the issuing of a development permit.



Confirmation

The information I have provided herein and herewith is true, and to the best of my knowledge and abilities, accurate and complete.

Signature: E Irwin

Date: Jan 14, 2019

Revision Date: October 5, 2011

Personal information collected on this form is collected in accordance with Sections 683, 685 and 686 of the Alberta Municipal Government Act and Section 33(c) of the Freedom of Information and Protection of Privacy Act. Please note that such information may be made public. If you have any questions about the collection, use or disclosure of the personal information provided, please contact the Director of Planning and Development Services at 910 - 4 Ave S, Lethbridge, AB T1J 0P6 or phone 403-320-3920.



PRIME CONSULTANT

Christina Barbrick
Creative Designer of Custom Homes



LINES BY DESIGN

(403) 331-8669
Lethbridge, Alberta
christina@linesbydesign.ca

DRAWING LEGEND

Sheet #:	Sheet name:
T-1	Title sheet
N5-1	Notes & Specifications
D-1	Details, efficiency & flashing
S-1	Site plan
AB-1	As Built Main floor level
AB-2	As Built Lower floor level
AB-3	As Built Exterior Elevations
D-1	Demolition Main floor level
D-2	Demolition Lower floor level
FM-1	Facility management proposed Main floor level
FM-2	Facility management proposed Lower floor level
AR-1	Proposed Main floor level
AR-2	Proposed Lower floor level
AR-3	Proposed Exterior elevations
AR-4	Proposed Cross sections
E-1	Proposed Main floor level Electrical layout
E-2	Proposed Lower floor level Electrical layout

Client:

Where the Wild Things Grow
Early Learning Centre Ltd.

Kerra Irwin, Cathin Stock,
Julianne Cross and Eva Irwin

DWG. status:

Working drawing - Revised April 15, 2019 - 11x17 paper

Model:

Proposed Daycare /
Renovation to a residential dwelling

Project address:

250 McMaster Blvd. West

DWG. reference #:

Lethbridge, AB,
3-19-R

Project

"As Built" One & half Storey renovation / addition

Description:

Daycare renovation / addition

Existing Major occupancy classification:

Existing: Group C - Residential occupancies

Proposed Major occupancy classification:

Group A, Division 2 (Daycare)

DATE

DWG. status log:

Feb. 6, 2019
March 19, 2019
April 15, 2019

REVISIONS / NOTES

Issued for permits

Revised: dimensioned length of staff parking spaces, 50 children total (see Facility Management page for details)

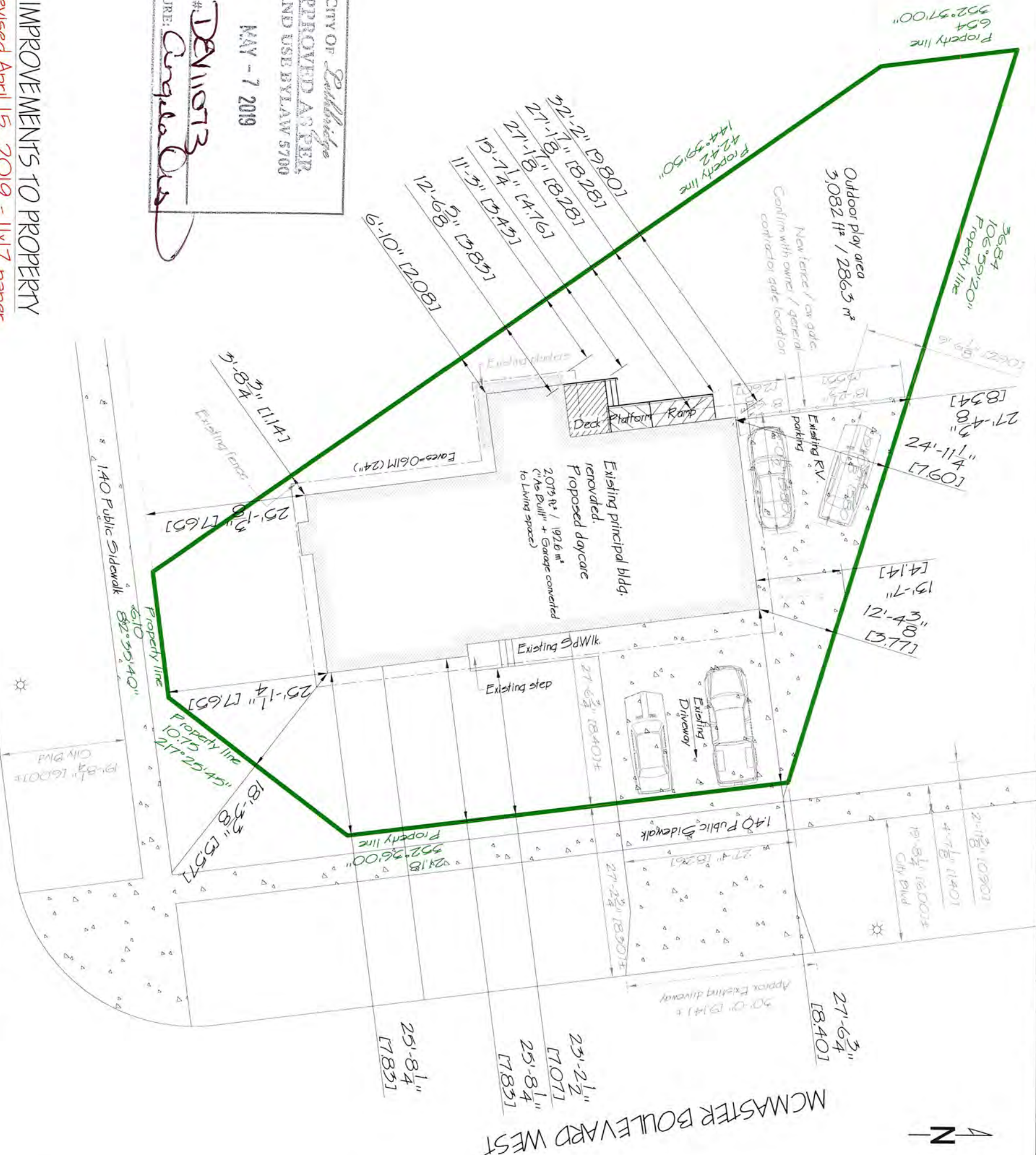
Revised: 4 parking spaces on existing property. Waiver required for 5 parking spaces on McMaster Blvd West

LANE

CITY OF *Edmonton*
APPROVED AS PER
LAND USE BYLAW 5700
 MAY - 7 2019
 PERMIT #: **DN11073**
 SIGNATURE: *Carole Ous*

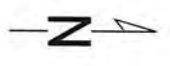
Feb. 6, 2019
SKETCH SHOWING IMPROVEMENTS TO PROPERTY
 Working drawing - Revised April 15, 2019 - 11x17 paper

NOTE! Unless otherwise specified, dimensions shown on this sketch are from foundation to property line
 0 2 4 6 8 10 20
 SCALE=1:200



TEMPLE BOULEVARD WEST

MCMASTER BOULEVARD WEST



PROPERTY DESCRIPTION

Plan: 710705
 Block: 51
 Lot: 15
 Address: 250 McMaster Blvd. West
 Municipality: Lethbridge, AB
 Zone: R-1

PRINCIPAL COVERAGE

Lot area: 8,834 R² / 821 m²
 Existing Principal Building: 1,291 R² / 120 m² ("As Built")
 Existing Attached garage: 782 R² / 72.7 m² ("As Built")
 Existing partially covered landing: 22 R² / 2 m² ("As Built")
 New Back yard un covered ramp / platform: 66 R² / 6.1 m²
 New Back yard un covered deck: 54 R² / 5 m²

Total coverage: 2,095 R² / 194.6 m² % of coverage: 24%
 As built Concrete driveway (on Property): 1,542 R² / 143.5 m²
 Parking: 2 car spaces @ 2.6m wide (+)
 2 car spaces @ 2.9m wide (within property line / fence)
 5 parking spaces on McMaster Blvd West (East of property, water required)
 9 car spaces (total)

of Staff: 9 full time staff
 Services: Full-time and part-time daycare
 # CHILDREN TOTAL: 50 children
 Hours of operation: Monday to Friday: 7am - 5:30pm
 Landscaping required.
 Removal of vegetation / trees required to accommodate new driveway.

The site is located directly across from Nicholas Sheran Park (East-facing McMaster Blvd West). It is in close proximity to Columbia Park Rink, Park and the Children of St. Martha Elementary School. This site is also located close to bus routes on Columbia Blvd West. Proposed passenger loading zone alongside Temple Blvd West, during hours of operation.

LEGEND

- Property line
- Development area
- Building outline
- Roof overhang
- Concrete sidewalk or driveway
- URFW
- Fence line
- Driveway location
- Street light
- Hydrant
- Transformer
- Talus

GRADE NOTES

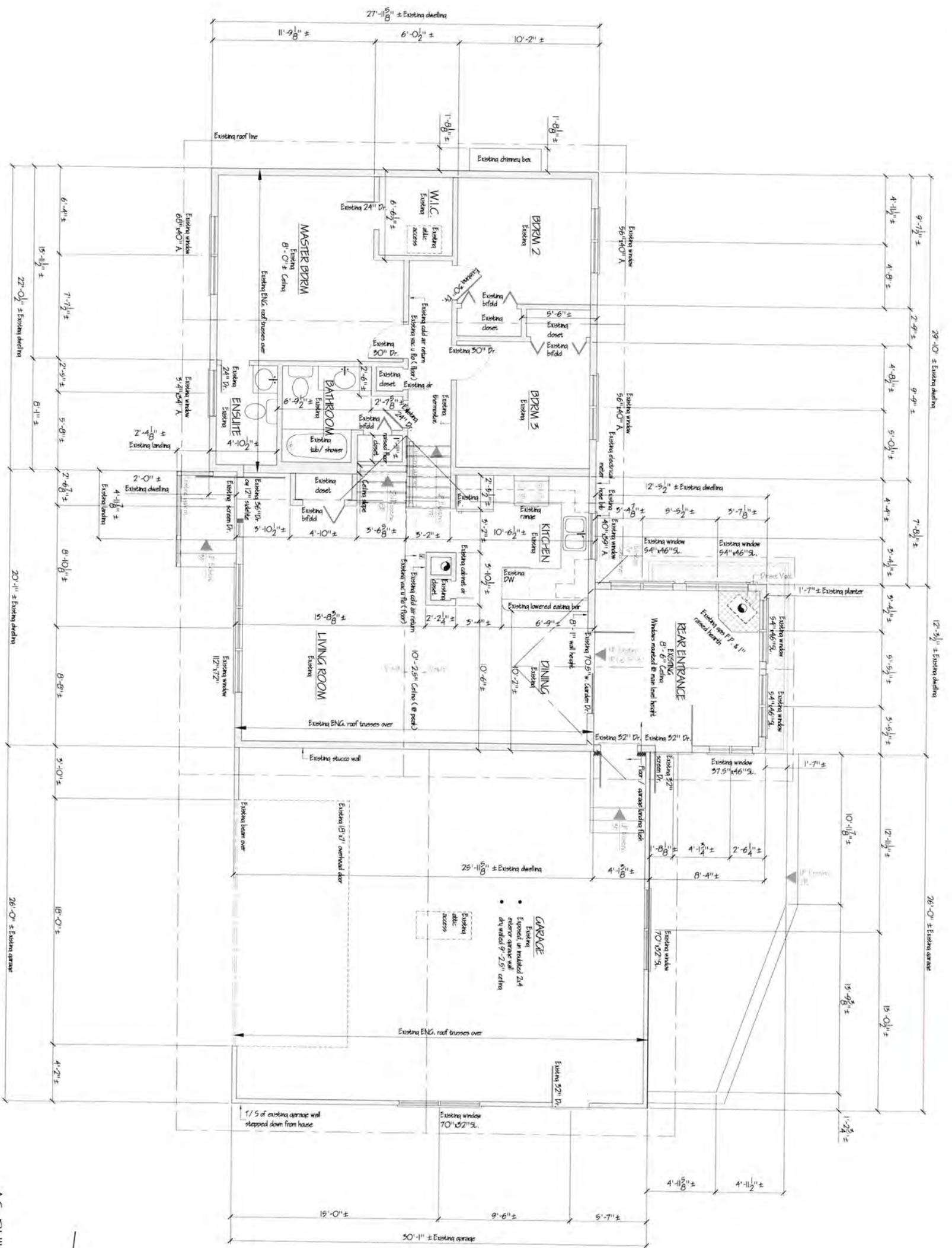
- The information contained within this siteplan is based on construction design information. All lot grading and sanitary sewer inverts should be field confirmed prior to any on site development.
- 10% slope for the first 2.0m (6'6") away from foundation
- 2% slope on remainder of lot to property line
- Driveways min. 4% slope, max. 7.5% slope
- Walkways min. 2% slope, max. 10% slope
- Roof drainage - hinged downspout extension

General Contractor:
 Christina Bankrick
 Creative Designer of Custom Homes



LINES BY DESIGN

(403) 551-8669
 Lethbridge, Alberta
 christina@linesbydesign.ca
 Dwg No. 3-19-R
 Sheet No. 5-1



AS-BUILT MAIN FLOOR LEVEL
 1,291 ft² / 120 m² (1" As Built)

Working drawing - IN17 paper

Model: Proposed Structure / Renovation to a residential dwelling
 Address: 250 McNamee Blvd, Wex
 Date: Feb. 6, 2019
 Scale: 1/8" = 1'-0"

General Contractor:

Model: Proposed Structure / Renovation to a residential dwelling
 Address: 250 McNamee Blvd, Wex

Prime Consultant:
Christina Barnhart
 Creative Designer of Custom Homes



LINES BY DESIGN

(403) 251-8669
 Lethbridge, Alberta
christinabarnhart.com

NOTE:
 All dimensions to new walls are to frame unless otherwise noted.
 2x4 wall shown 5.5" thick
 2x6 wall shown 5.5" thick
 2x8 wall shown 7.25" thick

DETAIL SYMBOL
 Detail - Detail Mark
 9 - Page

CROSS SECTION SYMBOL
 A - Mark
 10 - Page

Client: Where the Wild Things Grow Early Learning Centre Ltd.

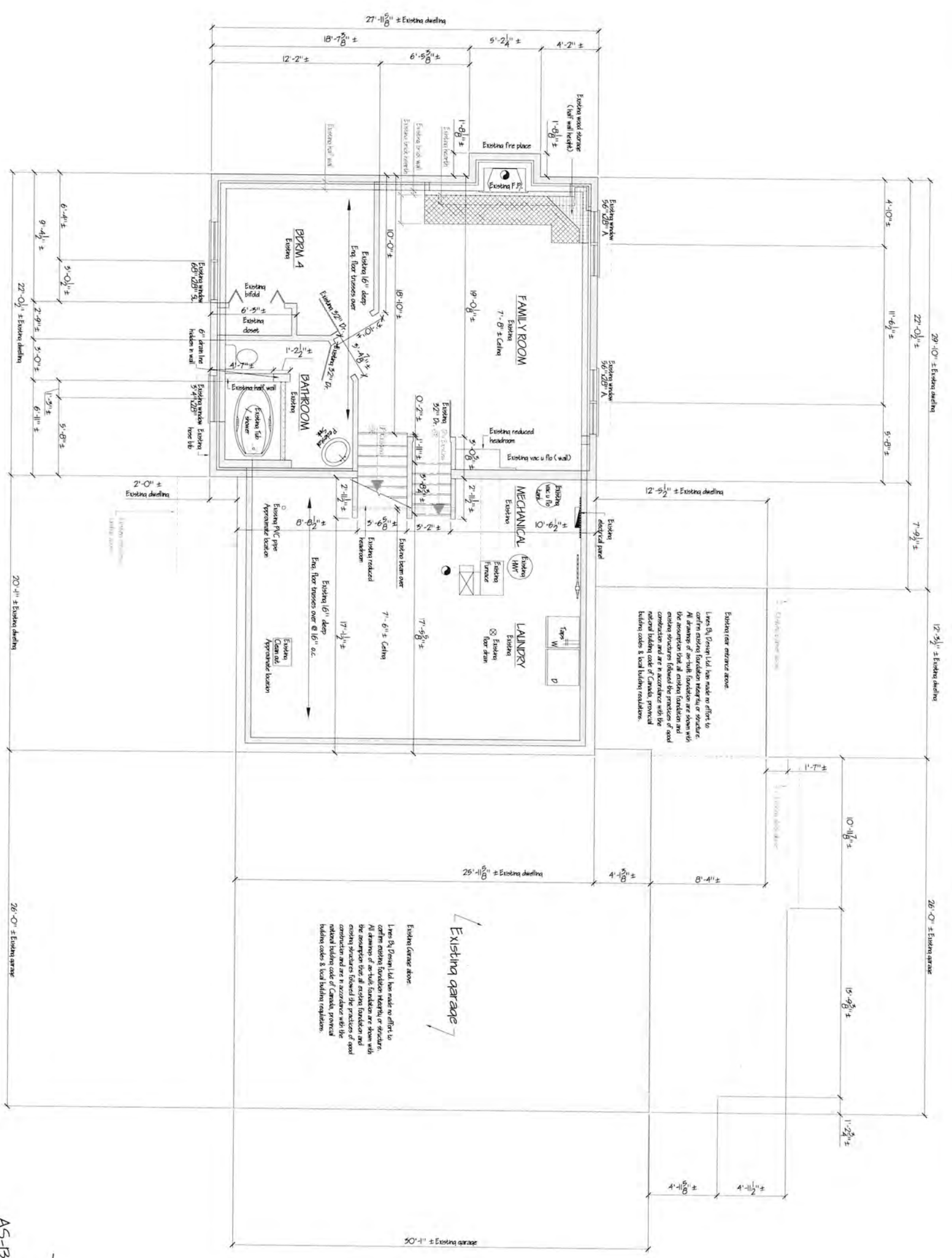
Client: Kerra Ivin, Cathin Stock, Liliane Cross and Eva Ivin

Scale: As noted

Date: Feb. 6, 2019
 Drawn: S-19-R
 Check: C-3044

Sheet Title: AS-BUILT MAIN FLOOR LEVEL

Sheet No. AB-1



Existing rear entrance above. Layer 24 Concrete Ltd. has made no effort to determine existing foundation materials or structure. All dimensions of new foundation are shown with the exception of the existing foundation and foundation materials. Existing foundation and foundation materials are shown with the exception of the existing foundation and foundation materials. Existing foundation and foundation materials are shown with the exception of the existing foundation and foundation materials.

Existing garage above. Layer 24 Concrete Ltd. has made no effort to determine existing foundation materials or structure. All dimensions of new foundation are shown with the exception of the existing foundation and foundation materials. Existing foundation and foundation materials are shown with the exception of the existing foundation and foundation materials.



AS-BUILT LOWER LEVEL

548 ft² / 50.9 m² ("As Built")
 (Area includes Family Rm, Bedroom,
 bathroom & kitchen floor wall)

Working drawings - 1/11/7 paper

Model: Proposed Structure /
 Renovation to a residential dwelling
 Address: 250 McKeown Blvd West
 Date: Feb. 6, 2019
 Scale: 1/8" = 1'-0"
 AS-BUILT

General Contractor:

Model:
 Proposed Structure /
 Renovation to a residential dwelling
 Address:
 250 McKeown Blvd West

Prime Consultant:
Christina Bambrick
 Creative Designer of Custom Homes



LINES BY DESIGN
 (403) 331-8869
 Lethbridge, Alberta
 christina@linesbydesign.ca

NOTE:
 All dimensions to new walls are to
 frame unless otherwise noted.
 2-4" wall shown 5-5 1/2" thick
 2-6" wall shown 5-5 1/2" thick
 2-8" wall shown 7-2 1/2" thick

DETAIL SYMBOL:
 Detail - Detail Mark
 9 - Page

CROSS SECTION SYMBOL:
 A - Mark
 10 - Page

Client:
 Where the Wild Things Grow
 Early Learning Centre Ltd.

Kerra Lynn, Catha Stock,
 Wilma Cross and Eva Iwin

Scale:
 As noted

Date:
 Feb. 6, 2019

Drawn By:
 3-19-R

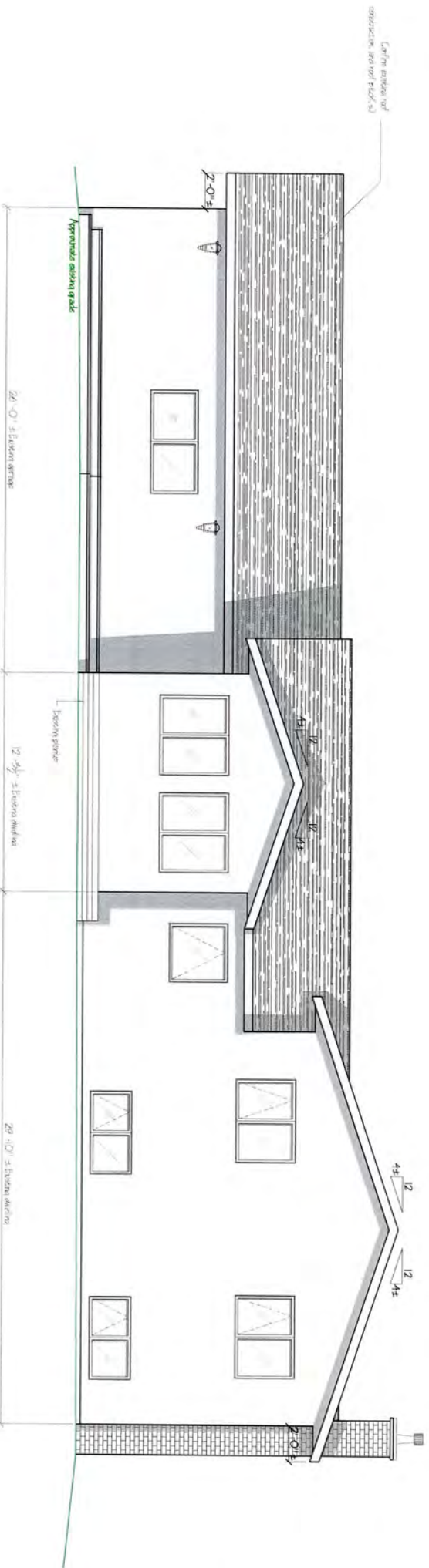
Checked:
 [Signature]

Sheet Title:
 AS-BUILT
 LOWER LEVEL

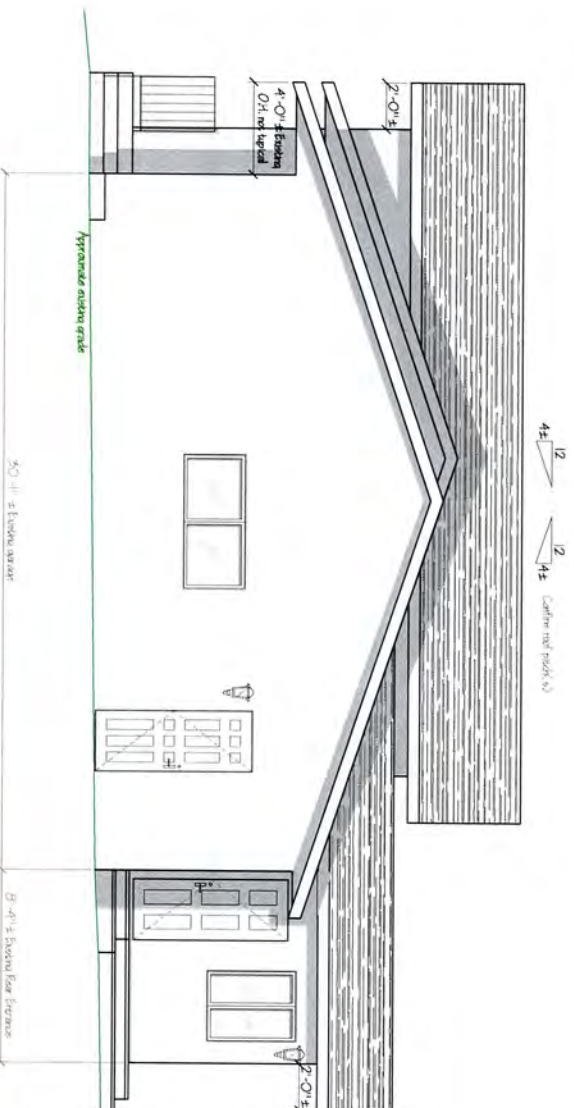
Sheet No.
 AB-2



AS-BUILT EAST ELEVATION
 Working drawing - 11x17 paper
 Model: Proposed Dwayer / Renovation to a residential dwelling
 Address: 250 McAlister Blvd West
 Date: Feb. 6, 2019
 Scale: 1/8"=1'-0"



AS-BUILT WEST ELEVATION
 Working drawing - 11x17 paper
 Model: Proposed Dwayer / Renovation to a residential dwelling
 Address: 250 McAlister Blvd West
 Date: Feb. 6, 2019
 Scale: 1/8"=1'-0"



AS-BUILT NORTH ELEVATION
 Working drawing - 11x17 paper
 Model: Proposed Dwayer / Renovation to a residential dwelling
 Address: 250 McAlister Blvd West
 Date: Feb. 6, 2019
 Scale: 1/8"=1'-0"

General Contractor:

Model:
 Proposed Dwayer /
 Renovation to a residential dwelling
 Address:
 250 McAlister Blvd West

Prime Consultant:
Christina Brambuck
 Creative Designer of Custom Homes



LINES BY DESIGN

(403) 391-8869
 Lethbridge, Alberta
drlindsay@linesbydesign.ca

NOTE:

All dimensions to new walls are to frame unless otherwise noted.
 2x4 wall down 3.5" thick
 2x6 wall down 5.5" thick
 2x8 wall down 7.25" thick

DETAIL SYMBOL

Detail -- Detail Mark
 9 -- Page

CROSS SECTION SYMBOL



Client:

Where the Wild Things Grow
 Early Learning Centre Ltd.

Kerra Ivin, Caitlin Scott,
 Milaine Cross and Eva Ivin

Scale:

As noted

Date:

Feb. 6, 2019

Drawn By:

5-19-R

Checked:

C.Brambuck

Sheet Title:

AS BUILT
 EXTERIOR ELEVATIONS

Sheet No.

AB-3

General Contractor:

Model:
Proposed Renovation /
Renovation to a residential dwelling
Address:
2900 McMillan Blvd, West

Prime Consultant:
Christina Bambrick
Creative Designer of Custom Homes



LINES BY DESIGN

(403) 591-8669
Lethbridge, Alberta
christina@linesbydesign.ca

NOTE:
All dimensions to new walls are to
frame unless otherwise noted.
2x4 wall shown 5.5" thick
2x6 wall shown 5.5" thick
2x8 wall shown 7.25" thick

DETAIL SYMBOL
Detail - Detail Mark
- Page

CROSS SECTION SYMBOL
A - Mark
10 - Page

Client:
Where the Wild Things Grow
Early Learning Centre Ltd.

Kerra Lynn, Caitlin Stock,
Allaine Cross and Eva Irwin

Scale:
As noted

Date:
Feb. 6, 2019

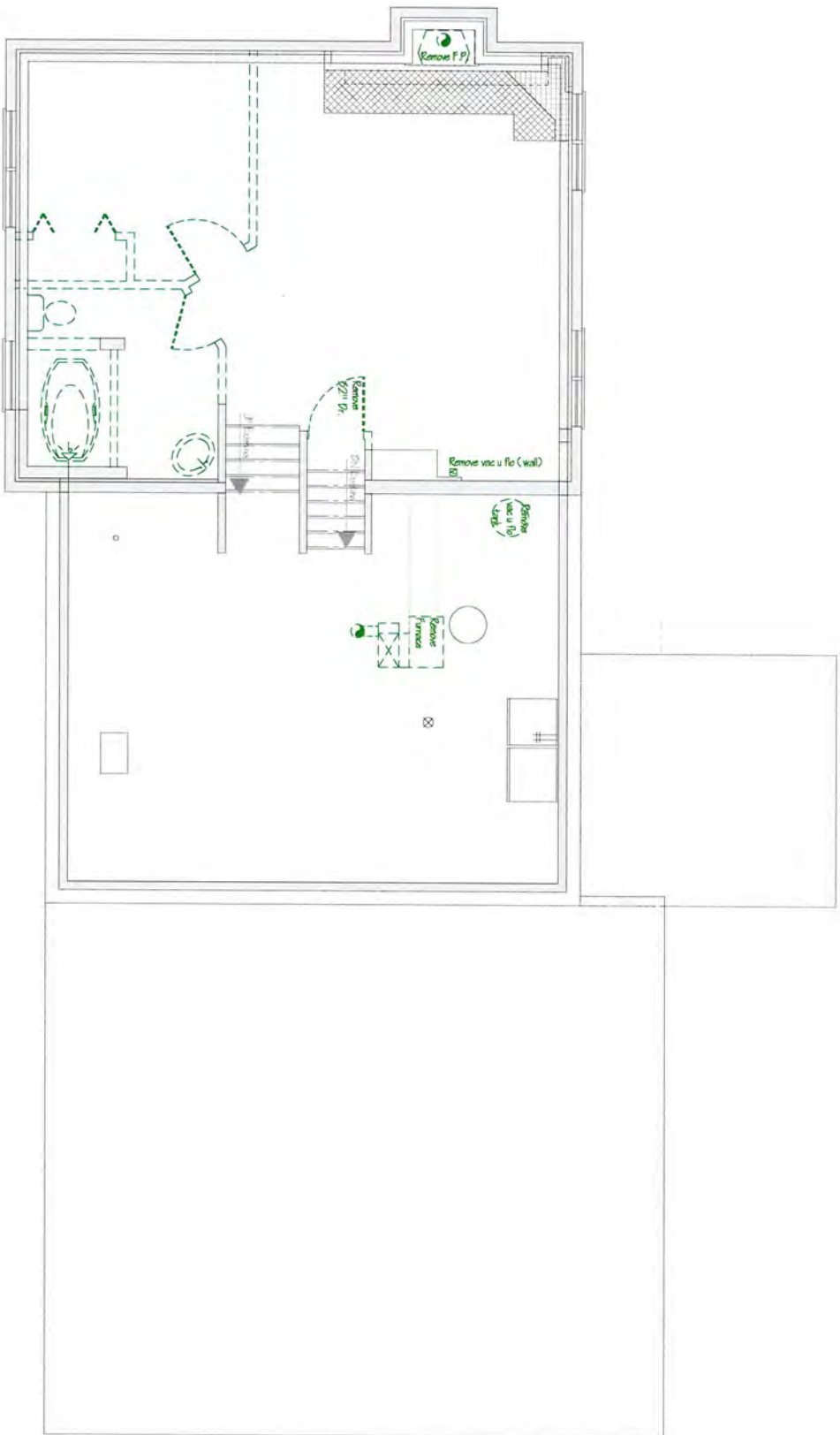
Draw No:
3-19-R

Drawn By:
C.Bambrick

Checked:

Sheet Title:
DEMOLITION
LOWER LEVEL

Sheet No.
D-2



**DEMOLITION
LOWER LEVEL**

Working drawing - 1/8" paper

Model:
Proposed Renovation /
Renovation to a residential dwelling

Address:
2900 McMillan Blvd, West

Date:
Feb. 6, 2019

Scale:
1/8"=1'-0"

AS-BUILT

PROPOSED DEMOLITION

General Contractor:

Model:
Proposed Dwayer /
Renovation to a residential dwelling
Address:
250 McIlwain Blvd West

Prime Consultant:
Christina Barwick
Creative Designer of Custom Homes



LINES BY DESIGN
(403) 391-8669
Lethbridge, Alberta
christina@linesbydesign.ca

NOTE:
All dimensions to new walls are to
frame unless otherwise noted.
2x4 wall shows 5.5" thick.
2x6 wall shows 5.5" thick.
2x8 wall shows 7.25" thick

DETAIL SYMBOL
Detail - Detail Mark
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CROSS SECTION SYMBOL
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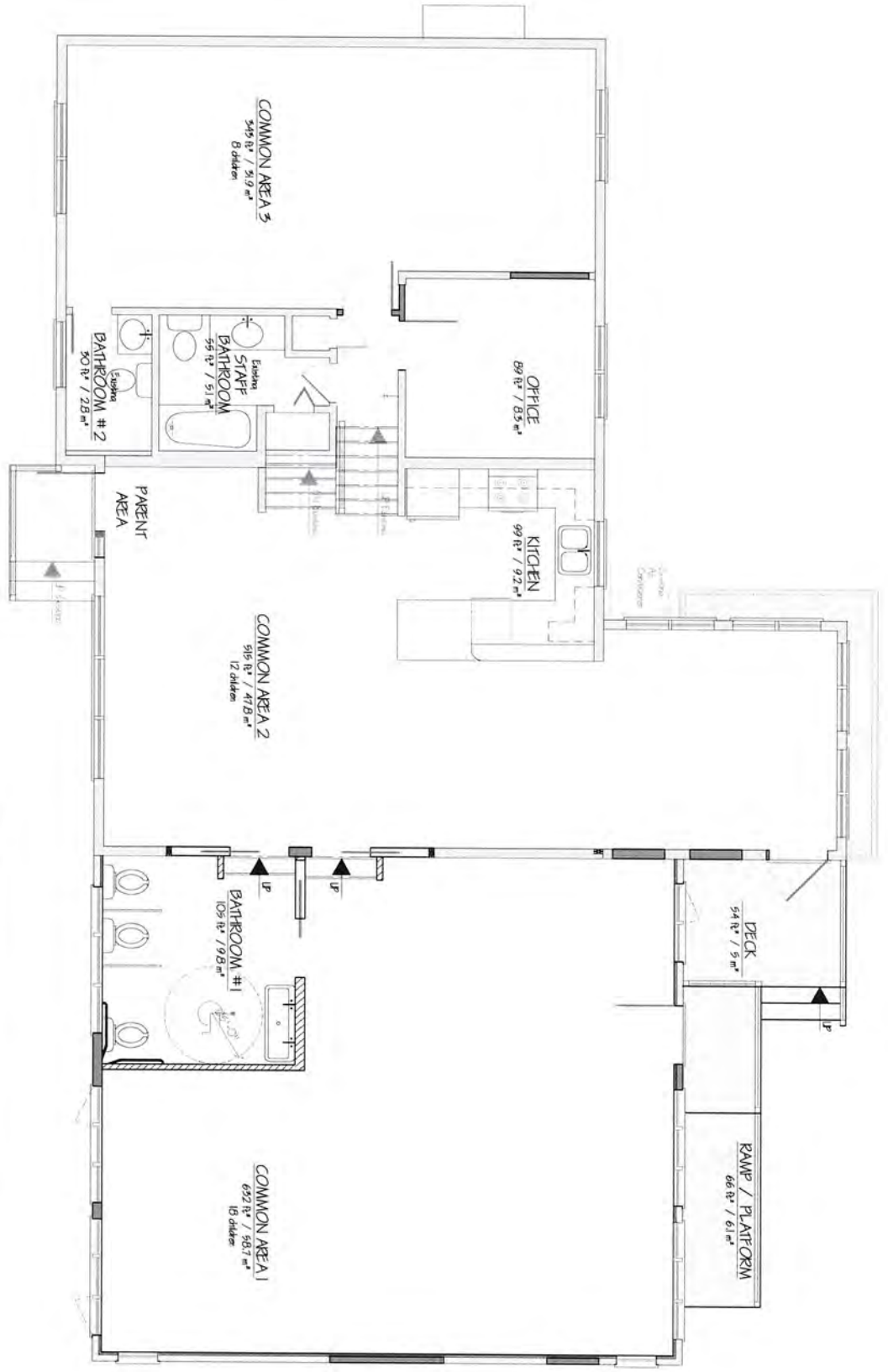
Client:
Where the Wild Things Grow
Early Learning Centre Ltd.

Client:
Kerra Ivin, Cathin Stock,
Liliane Croz and Eva Ivin

Scale:
As noted
Date:
Feb. 6, 2019
Drawn By:
S-19-R
Checked:
S-19-R

Sheet Title:
FACILITY MANAGEMENT
PROPOSED MAIN
FLOOR LEVEL

Sheet No.
FM-1



CITY OF *Saskatoon*
APPROVED AS PER
LAND USE BYLAW 5700
MAY - 7 2019
PERMIT #: **DEV11073**
SIGNATURE: *Angela Osa*

ROOM	AREA	# CHILDREN
COMMON AREA 1	632 sq' / 58.7 m ²	10 children
COMMON AREA 2	515 sq' / 47.8 m ²	12 children
COMMON AREA 3	545 sq' / 50.9 m ²	8 children
COMMON AREA 4	408 sq' / 37.8 m ²	12 children
# CHILDREN TOTAL:		50 children

**FACILITY MANAGEMENT
PROPOSED MAIN FLOOR**

Working drawing - Revised March 19, 2019 - 11x17 paper

Model:
Proposed Dwayer /
Renovation to a residential dwelling
Address:
250 McIlwain Blvd West
Date:
Feb. 6, 2019
Scale:
1/8" = 1'-0"
PROPOSED IMPROVEMENTS
AS-BUILT



General Contractor:

Model:
Proposed Structure /
Revised to a residential dwelling
Address:
290 Malabar Road, West

Prime Consultant:
Christina Bambrick
Creative Designer of Custom Homes



LINES BY DESIGN
(403) 591-8669
Lethbridge, Alberta
christina@linesbydesign.ca

NOTE:
All dimensions to new walls are to
frame unless otherwise noted.
2x4 wall shown 5.5" thick
2x6 wall shown 5.5" thick
2x8 wall shown 7.25" thick

DETAIL SYMBOL
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- Face

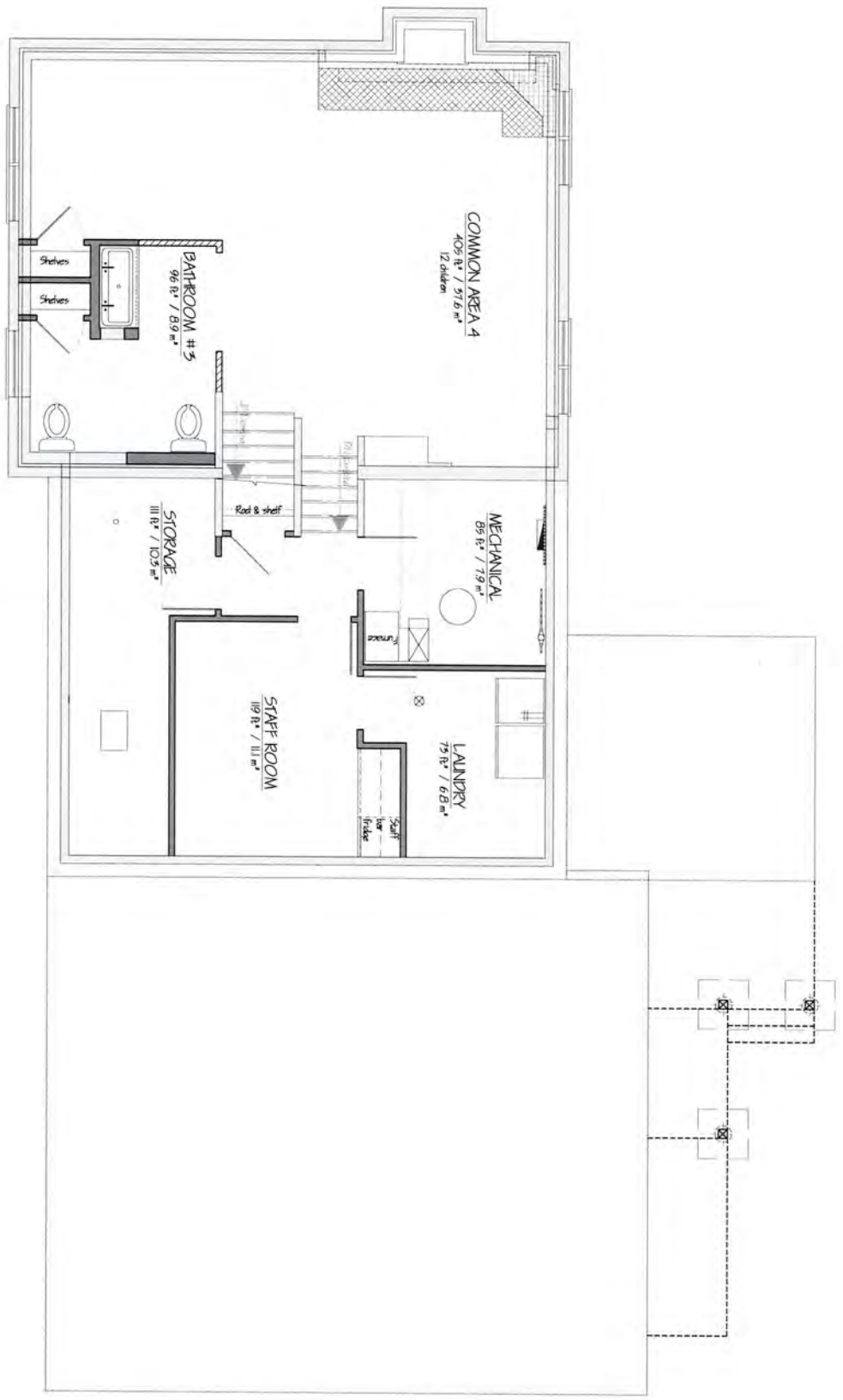
CROSS SECTION SYMBOL
A - Mark
10 - Page

Client:
Where the Wild Things Grow
Early Learning Centre Ltd.

Client:
Kerra Ivin, Caitlin Stock,
Allaine Cross and Eva Ivin

Scale:
As noted
Date:
Feb. 6, 2019
Drawn By:
S-19-R
Checked:
Sheet Title:
FACILITY MANAGEMENT
PROPOSED LOWER
FLOOR LEVEL

Sheet No.
FM-2



ROOM	AREA	# CHILDREN
COMMON AREA 1	692 sq' / 64.7 m ²	18 children
COMMON AREA 2	515 sq' / 47.8 m ²	12 children
COMMON AREA 3	545 sq' / 50.9 m ²	8 children
COMMON AREA 4	405 sq' / 37.6 m ²	12 children
# CHILDREN TOTAL:		50 children

CITY OF *Lethbridge*
APPROVED AS SET
 LAND USE BYLAW 5700
 MAY - 7 2019
 PERMIT #: **DEV11073**
 SIGNATURE: *Angela Doo*

**FACILITY MANAGEMENT
 PROPOSED LOWER FLOOR LEVEL**

Working drawing - Revised March 19, 2019 - 11x17 paper

REVISION TOTAL LOWER FLOOR AREA
 Model: Proposed Structure /
 Revisions to a residential dwelling
 Address: 290 Malabar Road, West
 Date: Feb. 6, 2019
 Scale: 1/8"=1'-0"
 REDUCED DIMENSIONS
 AS-SHOWN



CITY OF Tallahassee
APPROVED AS PER
LAND USE BYLAW 5700
MAY - 7 2019
 PERMIT #: **DEV11073**
 SIGNATURE: *Complete Design*



PROPOSED MAIN FLOOR

AS-BUILT MAIN FLOOR - REMODEL 1,299 sq ft / 120 m² ("As Built")
 PROPOSED ADDITIONS TO MAIN FLOOR 782 sq ft / 727 m² ("As Built")
 ("As Built" Garage converted to Living space)
 REVISION FOR WINDOW AREA 2,073 sq ft / 192.6 m²
 ("As Built" + Garage converted to Living space)

Working drawing - Revised March 19, 2019 - IIN7 paper
 Model: Proposed Package / Remodel to a residential dwelling
 Address: 250 Malabar Blvd West
 Date: Feb 6, 2019
 Scale: 1/8" = 1'-0"
 PROPOSED IMPROVEMENTS: [Shaded area]
 AS-BUILT: [Unshaded area]

General Contractor:

Model:
 Proposed Package / Remodel to a residential dwelling
 Address: 250 Malabar Blvd West

Prime Consultant:
 Christina Bankrick
 Creative Designer of Custom Homes



LINE BY DESIGN
 (405) 591-8669
 Lehigh, Alabama
 christina@linesbydesign.com

NOTE:
 All dimensions to new walls are to frame unless otherwise noted.
 2x4 wall shown 5.5" thick.
 2x6 wall shown 5.5" thick.
 2x8 wall shown 7.25" thick.

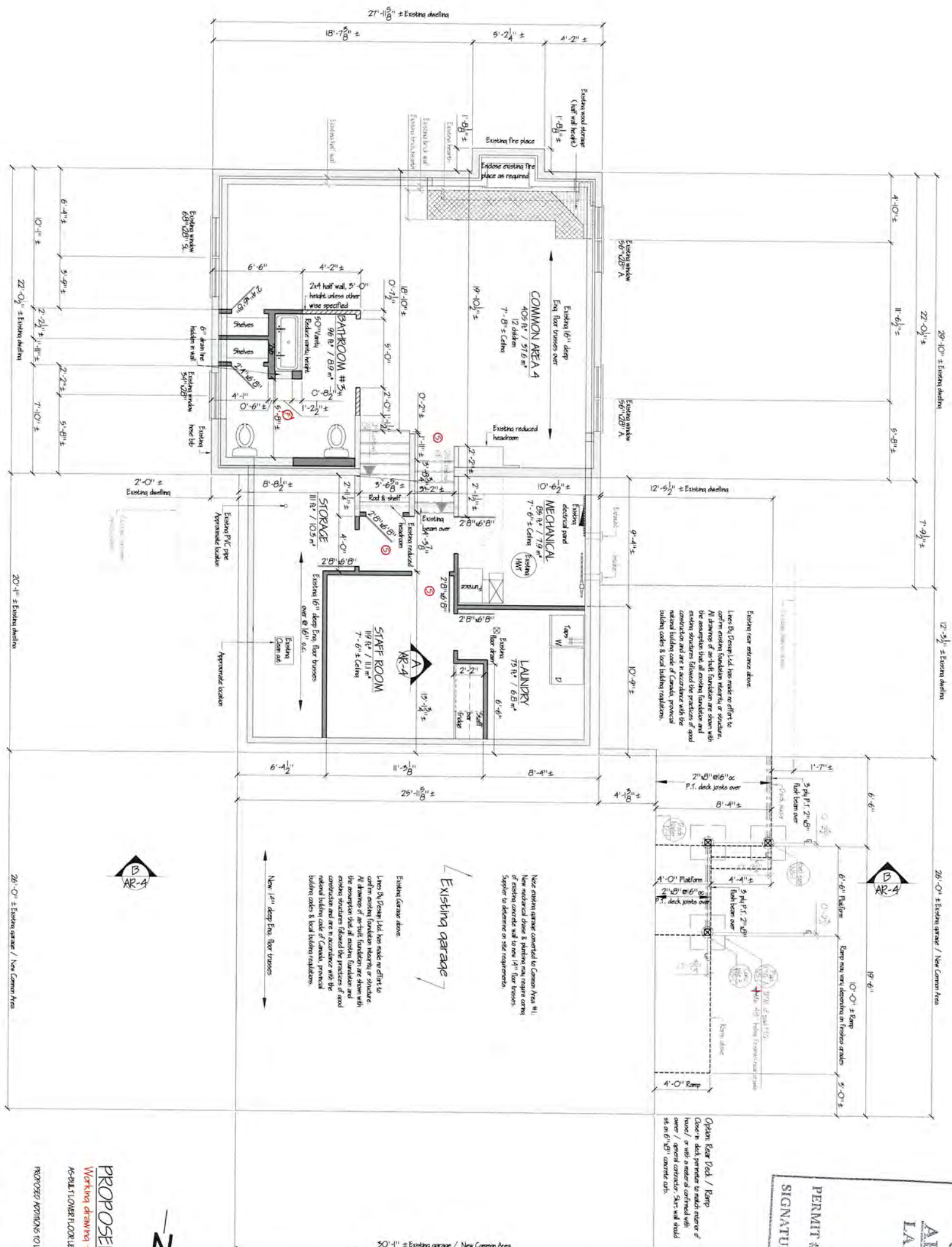
DETAIL SYMBOL:
 Detail -- Detail Mark
 S -- Face

CROSS SECTION SYMBOL:
 A-A Mark
 10'-0" Face

Client:
 Where the Wild Things Grow
 Earth Learning Center Ltd.
 Kera Lynn, Cathi Stark,
 Liliane Cross and Eva Iwin

Scale:
 As noted
 Date: Feb 6, 2019
 Draw No: 3-19-R
 Drawn By: [Name]
 Checked: [Name]
 Sheet Title: PROPOSED MAIN FLOOR LEVEL

Sheet No. **AR-1**



CITY OF *Pellissippi*
APPROVED AS PER
LAND USE BYLAW 5700
MAY - 7 2019
 PERMIT #: **DEV11073**
 SIGNATURE: *Angela D...*

Option Rear Deck / Ramp
 Door's deck permits to reach interior of house / special contractor. Slab will stand 96 on 6" x 8" concrete slab.

Existing garage
 New existing garage converted to Common Area #11. New mechanical chase & plumbing riser, requires cutting of existing concrete wall to new 14" floor trusses. Supplier to determine on site requirements.

Existing Garage above
 Linc By Design Ltd. has made no effort to confirm existing foundation materials or structure. All dimensions of existing foundation are shown with the assumption that all existing foundation and existing structures followed the practices of good construction and are in accordance with the national building code of Canada, provincial building codes & local building regulations.

New 14" deep Eng. floor trusses



PROPOSED LOWER FLOOR LEVEL
 Working drawing - Revised March 19, 2019 - 1117 paper
 AS-BUILT LOWER FLOOR LEVEL
 PROPOSED IMPROVEMENTS TO LOWER FLOOR LEVEL
 REVISION TOTAL LOWER FLOOR AREA
 Model: Proposed structure / Extension to a residential dwelling
 Address: 250 McMillan Blvd West
 Date: Feb. 6, 2019
 Scale: 1/8" = 1'-0"
 PROPOSED IMPROVEMENTS
 AS-BUILT

Model: Proposed structure / Extension to a residential dwelling
 Address: 250 McMillan Blvd West
 Date: Feb. 6, 2019
 Scale: 1/8" = 1'-0"
 PROPOSED IMPROVEMENTS
 AS-BUILT

General Contractor:

Model: Proposed structure / Extension to a residential dwelling
 Address: 250 McMillan Blvd West

Prime Consultant:
 Christina Bambrick
 Creative Designer of Custom Homes



LINE BY DESIGN
 (403) 251-8669
 Lethbridge, Alberta
 christina@linesbydesign.com

NOTE:
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 2x4 wall shown 5.5" thick.
 2x6 wall shown 5.5" thick.
 2x8 wall shown 7.25" thick

DETAIL SYMBOL
 Detail -- Detail Mark
 9 -- Page

CROSS SECTION SYMBOL
 A - Mark
 10 - Page

Client: Where the Wild Things Grow Early Learning Center Ltd.

Client: Kerra Lynn, Caitlin Stock, Liliane Cross and Eva Iwin

Scale: As noted
 Date: Feb. 6, 2019

Drawn By: 5-19-R
 Checked: 5-19-R

Sheet Title: PROPOSED LOWER FLOOR LEVEL

Sheet No. AR-2

AR-2



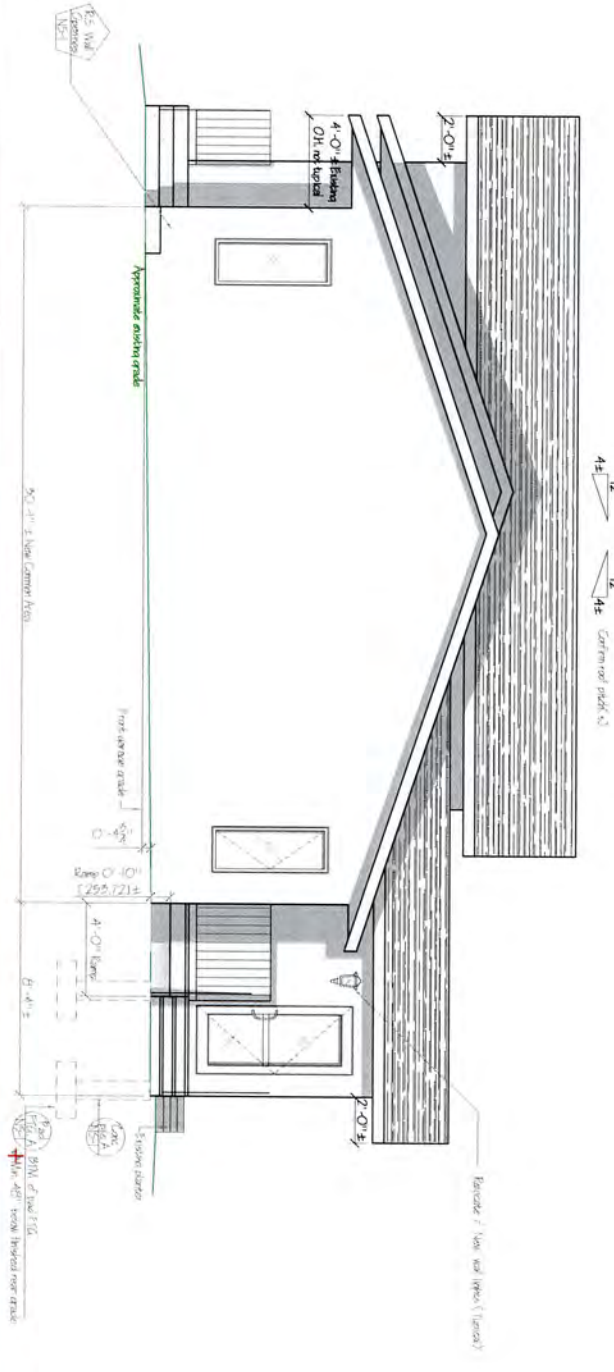
PROPOSED EAST ELEVATION
 Working drawing - 1/8\"/>

Model:
 Proposed Elevation /
 Proposed to a residential dwelling
 Address:
 250 McMillan Blvd West
 Date: Feb. 6, 2019
 Scale: 1/8\"/>



PROPOSED WEST ELEVATION
 Working drawing - 1/8\"/>

Model:
 Proposed Elevation /
 Proposed to a residential dwelling
 Address:
 250 McMillan Blvd West
 Date: Feb. 6, 2019
 Scale: 1/8\"/>



PROPOSED NORTH ELEVATION
 Working drawing - 1/8\"/>

Model:
 Proposed Elevation /
 Proposed to a residential dwelling
 Address:
 250 McMillan Blvd West
 Date: Feb. 6, 2019
 Scale: 1/8\"/>

Grade notes:
 See site plan - 10% slope for the first 2.0m (6'6\"/>

General Contractor:

Prime Consultant:
 Christina Bambrick
 Creative Designer of Custom Homes



LINES BY DESIGN
 (403) 251-8669
 Lethbridge, Alberta
 chrishina@linesbydesign.ca

NOTE:
 All dimensions to new walls are to
 frame unless otherwise noted.
 2x4 wall shown 5 5/8\"/>

DETAIL SYMBOL
 Detail Mark
 9 - Page

CROSS SECTION SYMBOL
 A - Mark
 10 - Page

Client:
 Where the Wild Things Grow
 Early Learning Centre Ltd.

Keira Lynn, Caitlin Stock,
 Millene Cross and Eva Iwim

Scale:
 As noted
 Date:
 Feb. 6, 2019

Drawn By:
 5-19-R

Checked:
 Sheets Title:
 PROPOSED EXTERIOR
 ELEVATIONS

Sheet No.
 AR-3

PERMIT #: **DEV11073**
 SIGNATURE: *Carroll Davis*
APPROVED AS PER
LAND USE BYLAW 5700
MAY - 7 2019

General Contractor:

Model:
Proposed Renovation /
Renovation to a residential dwelling
Address:
250 McMillan Blvd West

Prime Consultant:
Christina Bambrick
Creative Designer of Custom Homes



LINES BY DESIGN

(403) 251-8669
Lethbridge, Alberta
christina@linesbydesign.ca

NOTE:

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2x4 wall shown 5.5" thick.
2x6 wall shown 5.5" thick.
2x8 wall shown 7.25" thick

DETAIL SYMBOL

Detail 9 - Detail Mark
9 - Page

CROSS SECTION SYMBOL

A - Mark
10 - Page

Client:
Where the Wild Things Grow
Early Learning Centre Ltd.

Kerri Lynn, Caitlin Stock,
Julianne Cross and Eva Lynn

Scale:

As noted

Date:
Feb. 6, 2019

Drawn By:
3-19-R

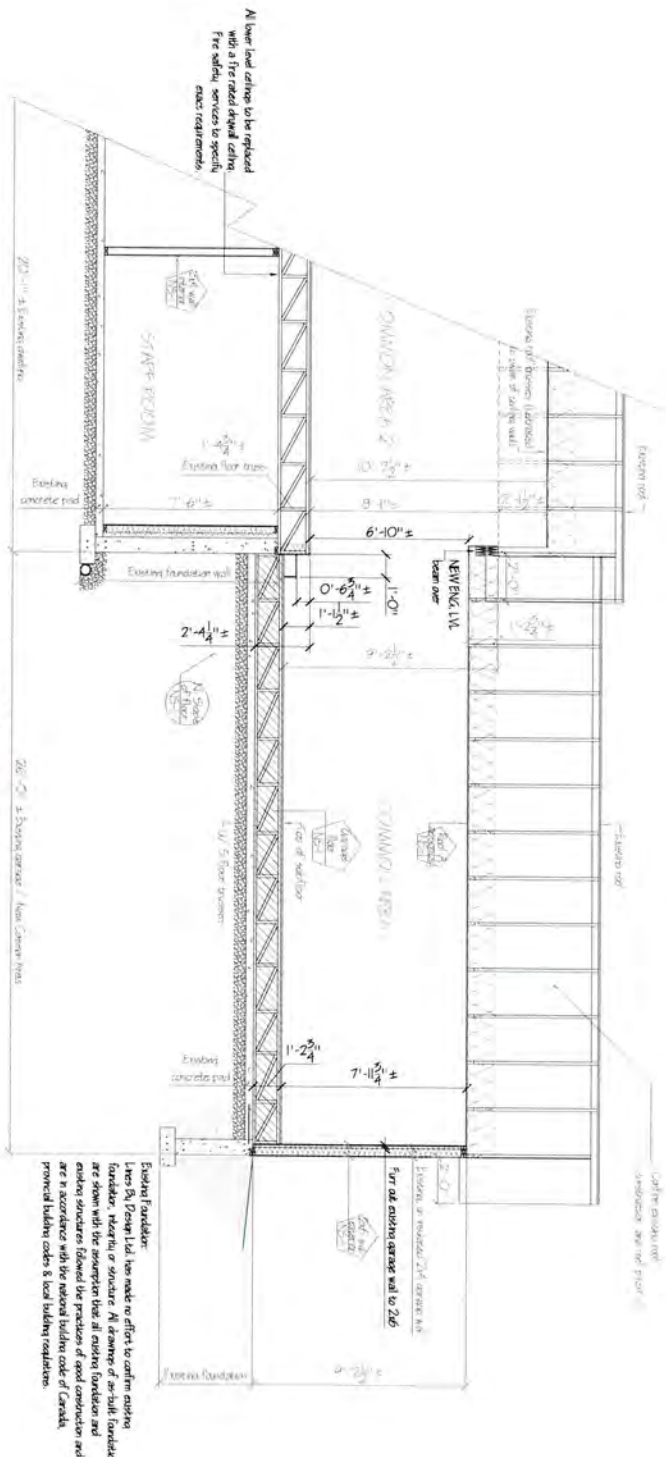
Checked:

Sheets Title:

**PROPOSED
CROSS SECTIONS**

Sheet No.

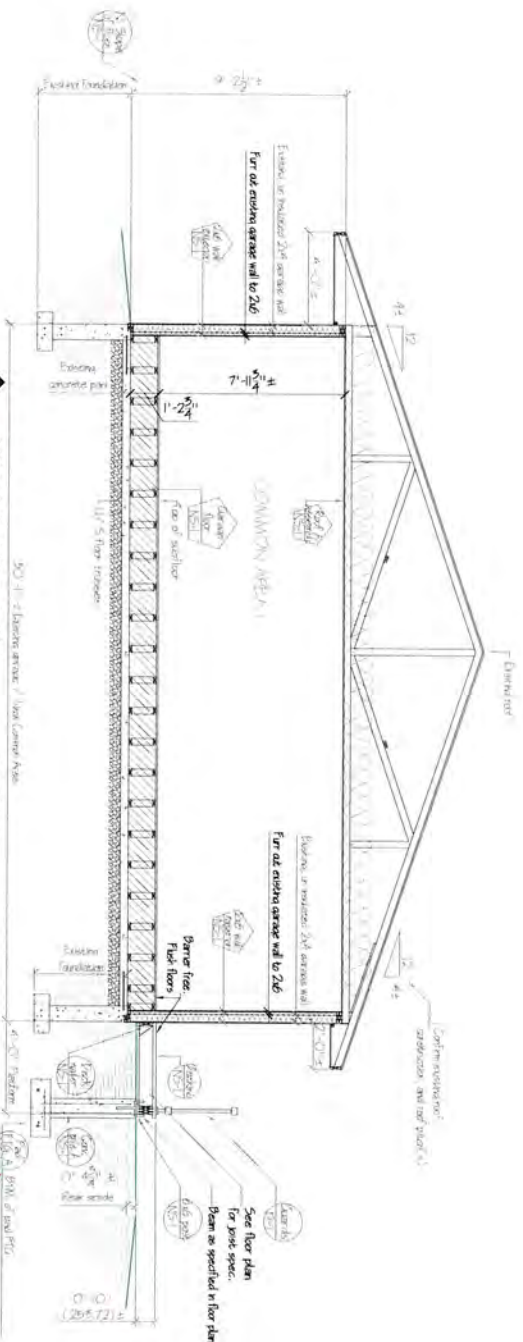
AR-4



**A
AR-4
CROSS SECTION**

Model:
Proposed Renovation /
Renovation to a residential dwelling
Address:
250 McMillan Blvd West
Date:
Feb. 6, 2019
Scale:
1/8"=1'-0"

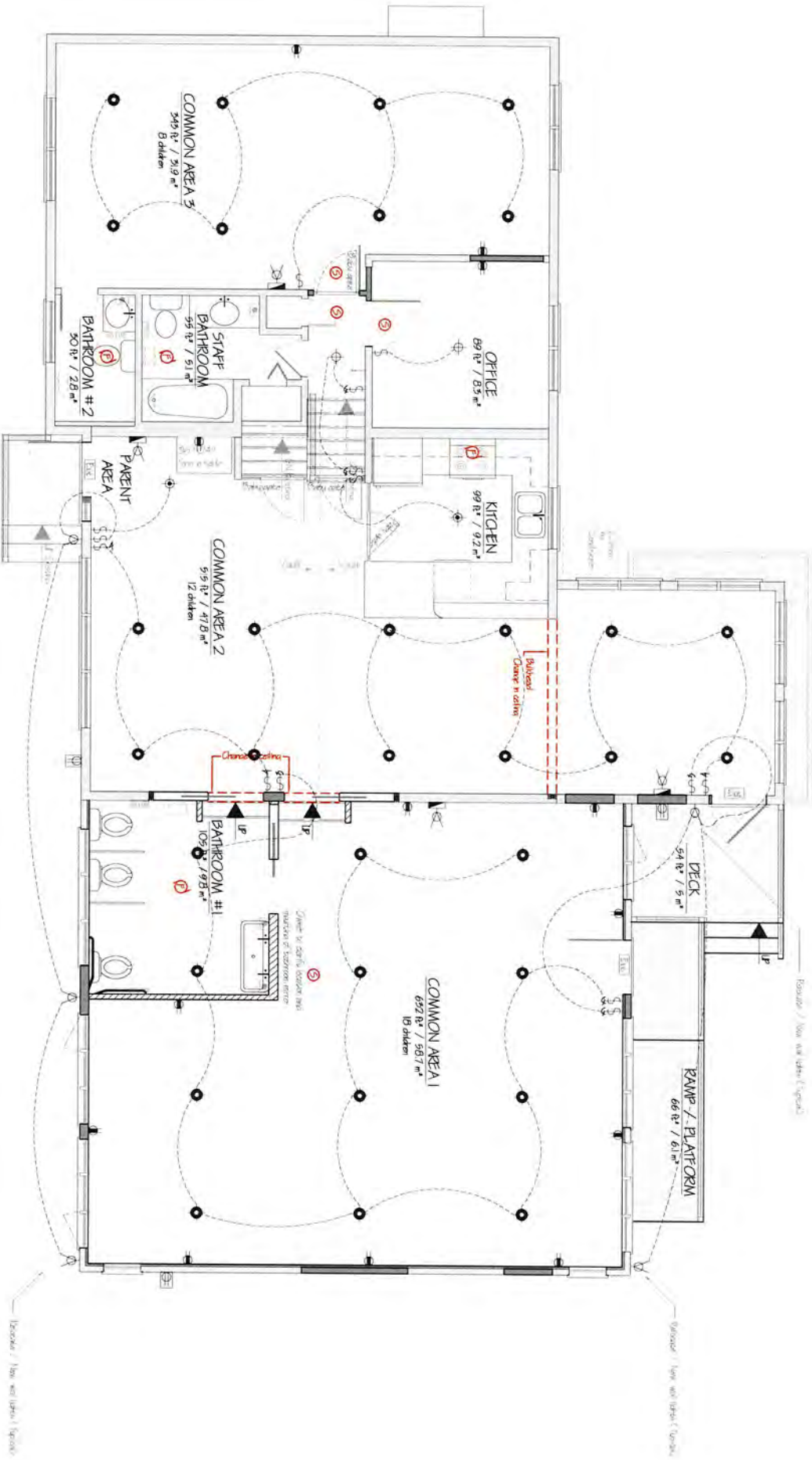
Existing Foundation:
Lynn Sh. Design Ltd. has made no effort to confirm existing foundation, masonry or structure. All drawings of as-built foundation are shown with the assumption that all existing foundation and existing structures followed the practices of good construction and are in accordance with the national building code of Canada and provincial building codes & local building regulations.



**B
AR-4
CROSS SECTION**

Model:
Proposed Renovation /
Renovation to a residential dwelling
Address:
250 McMillan Blvd West
Date:
Feb. 6, 2019
Scale:
1/8"=1'-0"

Existing Foundation:
Lynn Sh. Design Ltd. has made no effort to confirm existing foundation, masonry or structure. All drawings of as-built foundation are shown with the assumption that all existing foundation and existing structures followed the practices of good construction and are in accordance with the national building code of Canada and provincial building codes & local building regulations.



MAIN LEVEL ELECTRICAL

1,291 sq ft / 120 m² ("As Built")
 Working drawing - Revised March 19, 2019 - 1/4" T paper

Model: Proposed Dwayer / Renovation to a residential dwelling
 Address: 290 Millway Blvd West
 Date: Feb. 6, 2019
 Scale: 1/8" = 1'-0"



General Contractor:
 Model: Proposed Dwayer / Renovation to a residential dwelling
 Address: 290 Millway Blvd West
Prime Consultant:
 Crochran Bankrick
 Creative Designer of Custom Homes
Electrical:
 *Fire safety services - professional not required by others. Services to specify exact requirements.
 *A fire alarm is required.
 Electrical specifications - professional not required by others.
 Electrical Services to specify requirements & electrical symbols.
 Existing electrical to be verified on site. Existing electrical in red. Hazardous.
 New Electrical layout highlighted are a guide to any new electrical requirements resulting from the renovation.
 All existing and proposed electrical requirements shall follow the provisions of applicable codes and are in accordance with the national building code of Canada, provincial building codes & local building regulations.
 Temper resistant (TR) receptacles - required in child care facilities
EMERGENCY LIGHTING:
 Emergency lighting, which will be automatically activated in the event of the interruption of the regular power supply to the building, must be provided in accordance with Subsection 5.2.7.7.

ELECTRICAL SYMBOLS

- ⊖ Outlet adapter I/O - hidden plug
- ⊖ Outlet adapter I/O weather proof - exterior
- ⊖ Outlet adapter I/O Q/PLC - bathroom
- ⊖ Outlet adapter I/O arc fault - all rooms except kitchen
- ⊖ Outlet adapter I/O ceiling or softie mount
- ⊖ Outlet adapter 2200
- ⊖ Surface mounted ceiling incandescent light fixture
- ⊖ Suspended incandescent light fixture
- ⊖ Recessed ceiling incandescent light fixture
- ⊖ Surface mounted incandescent track light fixture
- ⊖ Wall mount light
- ⊖ Wall mount photo cell light fixture
- ⊖ Wall mount light on motion sensor activation
- ⊖ 1' x 1' Surface Mounted Fluorescent Light Fixture
- ⊖ Emergency lighting with battery pack
- ⊖ Switch
- ⊖ 3-way switch
- ⊖ 4-way switch
- ⊖ Dimmer switch
- ⊖ Electrical panel
- ⊖ Smoke detector

to be wired in & have battery back up on carbon monoxide detector

Smoke alarms in a detector make:

- be wired so that if smoke alarm sounds, any others in the detector will sound
- conform to the required product standards and be installed in accordance with the required installation standard.
- be electrically wired and provided with a seven day battery backup.
- have no disconnect switch between the alarm device and the smoke alarm

Scale: As noted
 Date: Feb. 6, 2019
 Drawn By: 3-19-R
 Checked: C/abrick

Client: Where the Wild Things Grow Early Learning Centre Ltd.
 Designer: Kerra Iwin, Caitlin Stock, Allene Crox and Eva Iwin

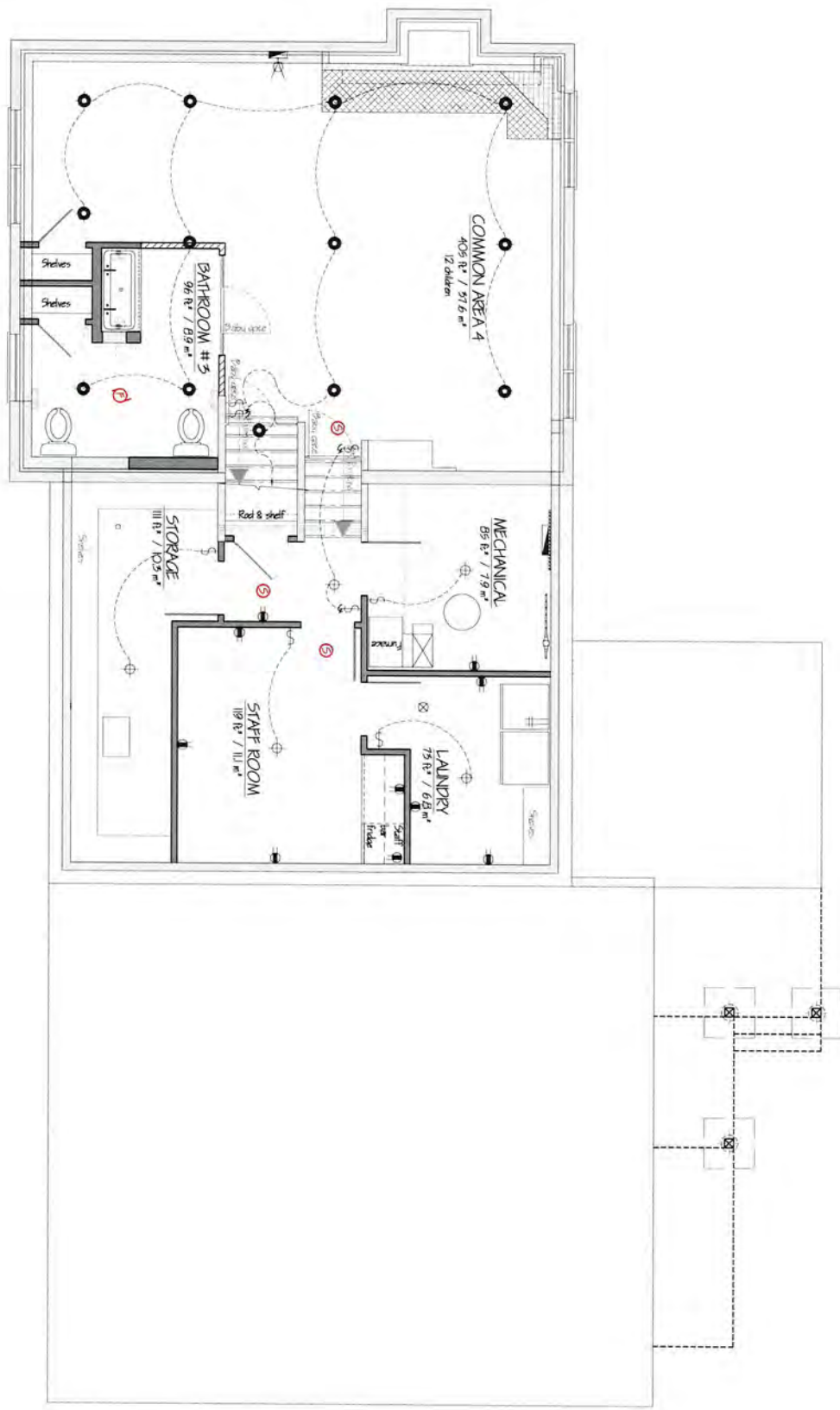
ELECTRICAL NOTES

- All exterior wall outlets to be wrapped in poly.
- Confirm outlet locations with general contractor & owner prior to installation.
- Confirm all accessory wiring that may need to be installed (speakers, satellite, etc.)
- Confirm fixture specs with general contractor & owner.
- Confirm exterior used lighting.
- Wire for door bells at exterior doors.

WIRE FOR PRINCIPAL EXHAUST

- Provide dedicated principal exhaust fan on central control switch, control switch to include interlock between principal exhaust fan(s) & ventilation supply air fan.

MAN LEVEL ELECTRICAL LANDJOUR
 Sheet No: E-1



LOWER LEVEL ELECTRICAL

548 sq ft / 50.9 m² ("As Built")
 (Area includes Family Rm, Bedroom, bathroom & interior front wall)

Working drawing - Revised March 19, 2019 - I117 paper

Model: Response to a residential dwelling
 Address: 250 Malabar Blvd West
 Date: Feb. 6, 2019
 Scale: 1/8"=1'-0"

For safety services - profession endorsement by others. Services to specify exist requirements.
 • A fire alarm is required

ELECTRICAL:
 Electrical specifications - professional endorsement by others.
 Electrical Services to specify requirements & electrical symbols.

Existing electrical to be verified on site. Existing electrical to not be altered.
 New Electrical layouts illustrated are a guide to any new electrical requirements resulting from the renovation.

All existing and proposed electrical requirements shall follow the practices of good construction and are in accordance with the national building code of Canada, provincial building codes & local building regulations.

Temporarily installed (TI) receptacles - required in child care facilities

EMERGENCY LIGHTING:
 Emergency lighting, which will be automatically activated in the event of the interruption of the regular power supply to the building, must be provided in accordance with Subsection 9.2.17.

ELECTRICAL SYMBOLS

- ⊖ Outlet: duplex I10 - kitchen plus
- ⊖ Outlet: duplex I10 weather proof - exterior
- ⊖ Outlet: duplex I10 GFCI - bathrooms
- ⊖ Outlet: duplex I10 arc fault - all rooms except kitchen
- ⊖ Outlet: duplex I10 ceiling or soffit mount
- ⊖ Outlet: duplex 220
- ⊖ Surface mounted ceiling incandescent light fixture
- ⊖ Suspended incandescent light fixture
- ⊖ Recessed ceiling incandescent light fixture
- ⊖ Wall mount incandescent track light fixture
- ⊖ Wall mount light
- ⊖ Wall mount photo cell light fixture
- ⊖ Wall mount light on motion sensor activation
- ⊖ 1/4" Surface Mounted Fluorescent Light Fixture
- ⊖ Emergency lighting with battery pack
- ⊖ Switch
- ⊖ 3-way switch
- ⊖ 4-way switch
- ⊖ 2-way Dinner switch
- ⊖ Electrical panel
- ⊖ Smoke detector

- to be wired in & have battery last up on carbon monoxide detection
- Smoke alarms in a detector rack
- be wired so that if smoke alarm sounds, any others in the detector will sound
- conform to the required product standards and be installed in accordance with the required installation standards.
- be electrically wired and provided with a seven day battery backup.
- have no disconnect switch between the overcurrent device and the smoke alarm

ELECTRICAL NOTES

- All exterior wall outlets to be weatherproof in pull
- Confirm outlet locations with general contractor & owner prior to installation
- Confirm all accessory wiring that may need to be installed (speakers, satellite, ...)
- Confirm electrical for additional equipment (air conditioning, vacuums, ...)
- Confirm fixture specs with general contractor & owner
- Confirm exterior yard lighting
- Wire for door bells at exterior doors

WIRE FOR PRINCIPAL EXHAUST
 Provide dedicated principal exhaust fan on central control switch, central switch to include interlock between principal exhaust fan, s & ventilation supply air fan.

General Contractor:

Model:
 Proposed fixture /
 Renovation to a residential dwelling
 Address:
 250 Malabar Blvd West

Prime Consultant:
Christopher Banknick
 Creative Designer of Custom Homes



LINES BY DESIGN

(403) 251-8669
 Lethbridge, Alberta
 chrisbanknick@linesbydesign.ca

NOTE:

All dimensions to non walls are to frame unless otherwise noted.
 2x4 wall shown 3.5" thick
 2x6 wall shown 5.5" thick
 2x8 wall shown 7.25" thick

DETAIL SYMBOL:
 Detail - Detail Mark
 9 - Face

CROSS SECTION SYMBOL:
 A - Mark
 10 - Page



Client:
 Where the Wild Things Grow
 Early Learning Center Ltd.

Drawn By:
 Kera Lynn, Caitlin Stock,
 Jilliane Cross and Eva Irwin

Scale:
 As noted

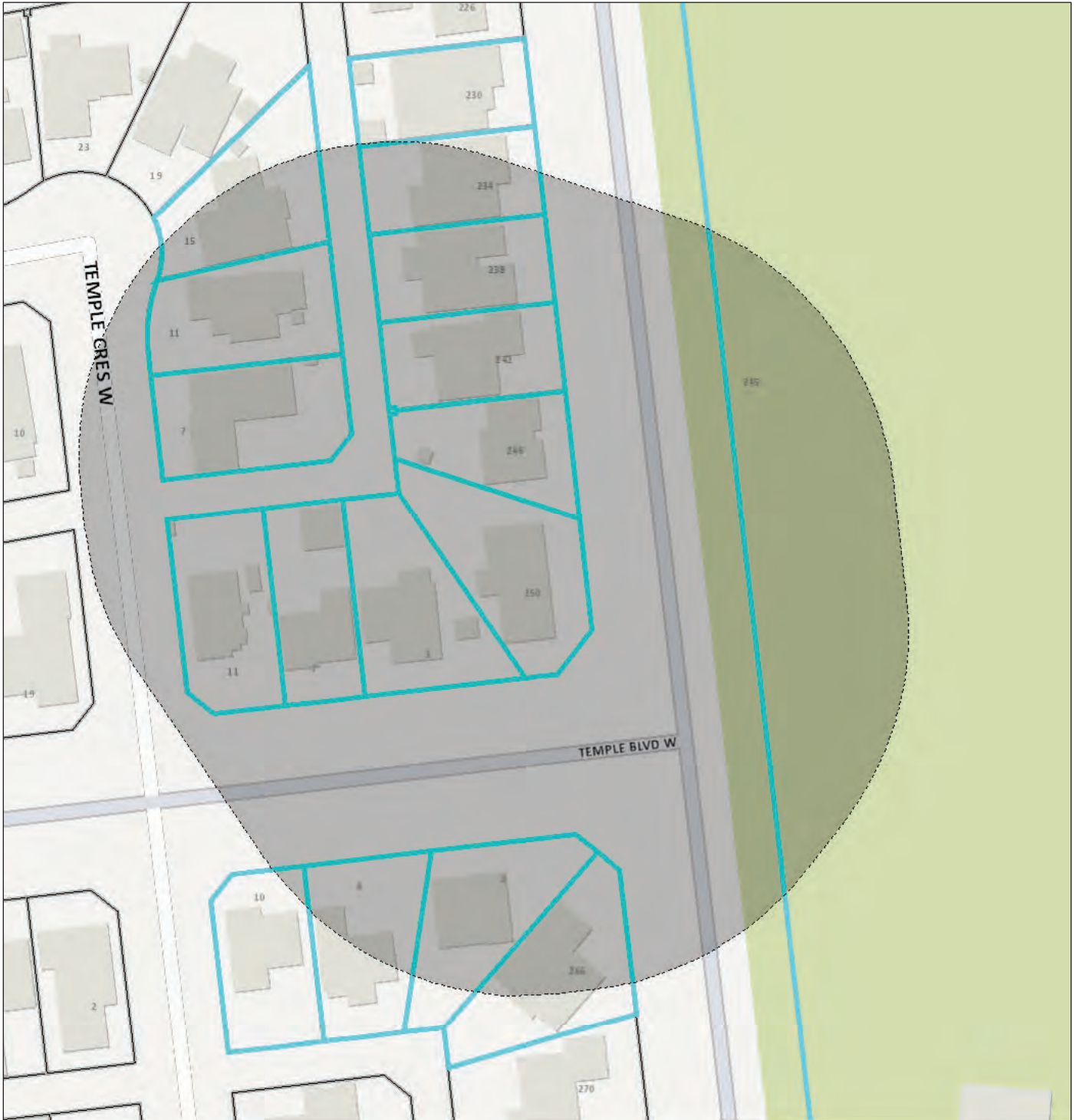
Date:
 Feb. 6, 2019

Drawn By:
 3-19-R

Sheet Title:
 LOWER LEVEL
 ELECTRICAL LAYOUT

Sheet No.
E-2

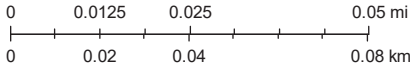
Parcel Locator WebMAP



May 27, 2019

 Parcels

1:1,128



Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community
City of Lethbridge, Alberta, Canada



CITY OF
Lethbridge

NOTICE OF APPEAL
Subdivision & Development Appeal Board

In accordance with sections 678 and 686 of the *Municipal Government Act* and The City of Lethbridge Bylaw 4749, an appeal to the Subdivision and Development Board must be filed within the legislated time frame.

Site Information			(Date Received Stamp)
Municipal Address of Appeal <i>250 McMaster Blvd. West</i>			CITY OF LETHBRIDGE RECEIVED
Legal Description of Site (must be completed for subdivision appeals)			
Development Application Number or Subdivision Application Number <i>DEV 11073</i>			MAY 29 2019
Appellant Information			OFFICE OF THE CITY CLERK
Name <i>Ken & Lorraine Jack</i>			
Mailing Address <i>15 Temple Crescent West</i>			
			(Office use Only)
City <i>Lethbridge</i>	Province <i>Alberta</i>	Postal Code <i>T1K 4T3</i>	
Residence #	Business #	Email <i>Ken.jack@telas.net</i>	

APPEAL AGAINST (Check One Box Only) for multiple appeals you must submit another Notice of Appeal

Development Permit	Subdivision Permit	Notice of Order
<input checked="" type="checkbox"/> Approval	<input type="checkbox"/> Approval	<input type="checkbox"/> Notice of Order
<input type="checkbox"/> Conditions of Approval	<input type="checkbox"/> Conditions of Approval	
<input type="checkbox"/> Refusal	<input type="checkbox"/> Refusal	

REASONS FOR APPEAL Sections 678 and 686 of the *Municipal Government Act* require that the written Notice of Appeal must contain specific reasons for the appeal.

The grounds for this appeal are as follows:

- Off-street parking - a waiver of seven (7) off-street parking spaces is excessive, will disrupt traffic flow on McMaster Blvd (where it is said they will park) and will create new concerns for pedestrian crossings in driveway*
- Drop-off zone on McMaster Blvd - rush hour traffic on McMaster & Temple Blvd will cause extreme traffic congestion with accident and safety risk a major concern.*

(Attach a separate page if required)

This Personal Information is collected under the authority of the Freedom of Information and protection of Privacy Act, Section 33(c) and the Municipal Government Act, Sections 6788 and 685 Note: This information will form part of a file available to the public. If you have any questions regarding the collection of this information, contact the FOIP Coordinator at (403) 329-7329.

Signature of Appellant <i>Ken Jack, Lorraine Jack</i>		Date <i>28 19 11 5 12 28</i>
FOR OFFICE USE ONLY		
Final Date of Appeal YYYY MM DD	Appeal Number	Hearing Date YYYY MM DD
		Date Appellant Notified YYYY MM DD

Timothy and Mary Smith
7 Temple Blvd West
Lethbridge, AB T1K 4T1

To: Secretary of the Subdivision and Development Appeal Board

We are writing to you to express our extreme dismay and outrage at the approval of a daycare to be established on 250 McMaster Blvd West.

This business would bring 50 children, 50+ adults, and 50+ vehicles into our residential neighborhood. The corner of McMaster and Temple Blvd is a major intersection. It is already extremely busy at the times parents would be picking up and dropping off children. The additional traffic and vehicle parking are going to cause increased congestion and safety issues. Has anyone who took part in this decision actually viewed the daycare site?

Noise from the daycare would also be a huge issue. We can clearly hear the children playing outside at St. Martha School and this school is a block away. The daycare would be one house away. Sound carries.

You are approving a business which will greatly increase traffic and noise in a residential area. This will extremely affect our quality of life as well as the value of our home. Would you allow this business to be established in your or a family member's neighborhood?

We hope that you will seriously consider our concerns and reverse your decision. We have enjoyed living in this neighborhood for over 30 years, but the increased traffic and noise from this business would certainly change that.

Regards,

Timothy and Mary Smith

CITY OF LETHBRIDGE
RECEIVED

MAY 29 2019

OFFICE OF THE
CITY CLERK

CITY OF LETHBRIDGE
RECEIVED

MAY 30 2019

OFFICE OF THE
CITY CLERK

Secretary of the Subdivision and Development Appeal Board
City Clerk's Office
City of Lethbridge
2nd Floor, 910 – 4 Avenue South
Lethbridge Alberta
T1J-0P6

May 25, 2019

TO WHOM IT MAY CONCERN

With all due respect, we are quite OPPOSED to the current proposal to develop a daycare facility at 250 McMaster Boulevard West.

We live on McMaster Boulevard one block south of this proposed business.

For starters, this is a RESIDENTIAL neighborhood and you're proposing that a business be placed in the midst of our neighborhood.

Secondly, McMaster has become a very busy street. We've resided here for over 25 years. Initially it was a relatively low-traffic, quiet street; but with all of the development that has taken place over the past decade or so, McMaster has become quite busy, with considerable traffic. You're attempting to make it busier.

At peak times, early morning and late afternoon, we oftentimes find it difficult to exit our driveway due to the constant traffic flow.

And, this corner of McMaster and Temple is particularly busy now, and it's going to get even busier as we head into the future, due to the continued residential development south of this location.

This proposed business is one block away from St. Martha's school, which has busy traffic early in the morning, and later in the afternoon, with school buses coming and going. There are many young children moving about at these times.

Nicholas Sheran Park is right across the street also, with considerable foot traffic and pedestrians, and many children playing, even more so when events are held in the park.

This corner location is across the street from a city maintenance yard, which has many city vehicles entering and exiting.

Since Temple has been recently linked up to Metis Trail this corner has become more hectic with all the added traffic from the Copperwood area.

If a daycare centre is established on this corner, traffic will increase even more, congestion will be greater, particularly at rush-hour times, and the St. Martha children

getting picked up by parents and buses will be endangered. Park visitors will also be at increased risk.

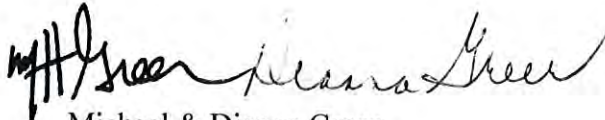
Also – where are all of the employees of this facility going to park? Parking on McMaster is tight now.

Lastly – how are 50 young children going to be accommodated in such a relatively small home?

At the very least, a study or survey should be conducted taking into consideration all of our aforementioned points. We would humbly suggest that the increased and ever-growing traffic on this corner has not been fully considered.

We would also suggest that a public meeting should be held to allow local residents to share their concerns, and also allow the decision-makers to explain how, or if, these issues can or will be mitigated.

Sincerely,

A handwritten signature in black ink, appearing to read "Michael & Dianna Greer". The signature is written in a cursive style with some loops and flourishes.

Michael & Dianna Greer
306 McMaster Blvd W
(403)381-9006

Barb G. Tate

#286 McMaster Boulevard

Lethbridge, AB T1K 4R4

Phone: (403) 381-0748

Email: barbtate40@gmail.com

CITY OF LETHBRIDGE
RECEIVED

MAY 30 2019

OFFICE OF THE
CITY CLERK

May 27th, 2019

Secretary of the Subdivision and Development Appeal Board
City of Lethbridge – City Clerk's Office
2nd Floor 910 – 4th Avenue South
Lethbridge, AB T1J 0P6

Good Morning:

**RE: Land Use Bylaw 5700 – Daycare Application
250 McMaster Boulevard, Lethbridge, AB
Imminent Danger at Intersection
Temple Boulevard & McMaster Boulevard West**

It has come to my attention that a spot development application has been approved by the Municipal Planning Commission at a house at the above noted location with little consideration given to the increasingly hazardous traffic situation at this intersection. It seems this decision was made without considering any number of dangerous scenarios that are likely to occur if the development should proceed.

I understand that a waiver of five (5) parking spaces was granted because the site cannot accommodate sufficient parking for nine employees and up to 50 parents who would arrive at the house twice each day during the work week. Staff and parents will be directed to park across the street along Nicholas Sheran Park if parking space at the front of the house is already occupied by the vehicles of other parents.

Parents who would access the daycare from either the south or the west would have to park along the NS Park curb and will inevitably choose to wait beside their vehicle for a break in the traffic and make a run for it with their toddler or child, across McMaster Boulevard (jaywalking), to get to the daycare.

I shudder to think how easily a horrific vehicle/pedestrian interaction could occur here, even on a good weather day. Add snow and ice to the road and a slippery windrow along the curb and a tragic accident is not only possible, I feel it is inevitable.

Vehicles parked along the NS Park curb will be at risk of collision from vehicles turning left from Temple Blvd. and from oncoming traffic that cannot stop in time. Drivers waiting in the queue to enter McMaster from Temple Blvd. are already concentrating on watching for a break in the traffic that is entering the intersection from three different directions. Just when it seems to be clear, another vehicle spontaneously appears from a residential driveway or the City of Lethbridge parks compound driveway.

This intersection is especially treacherous during the winter, and sanding it doesn't seem to make much difference. Vehicles approaching McMaster from Temple often have difficulty stopping on the expansive ice surface that accumulates here. One can often see the tire marks where skidding vehicles have hit the curb and bounced over it, out of control, in the exact location where parents will be asked to park.

Asking parents to park and then walk with small children along the NS Park curb during the winter, where plowed snow and ice accumulates in a windrow to a height of about 2 feet along the length of the road, is completely unacceptable.

As was recently demonstrated by the incident of May 23rd where morning traffic was brought to a standstill in the south end of West Lethbridge, there is a very heavy volume of traffic utilizing McMaster Boulevard every morning. Had the incident taken place during one of the eight months of the year when the University was in session, it would have been multiple times worse.

Residences along McMaster Boulevard and Temple Boulevard have front garages and driveways, limiting the amount of on-street curbside parking available along these streets. When vehicles park here, they effectively block visibility for those residents already challenged to exit their driveways because of the volume of traffic.

Backing out of our driveways is not a safe option in morning traffic or evening traffic. In order for residents to exit safely, many of us keep our vehicles parked facing the street in order to watch for a break in traffic when trying to leave. When other vehicles park along the curb, it makes it impossible to pull forward in order to back in when there is oncoming traffic from both directions.

Since the opening of Metis Trail at Temple Blvd., traffic from Copperwood and beyond use Temple Blvd. to access the University of Lethbridge and other destinations by traveling through Varsity Village. **This traffic will continue to grow.**

There is also a steady stream of traffic traveling north on McMaster turning left onto Temple Blvd. to connect to Chinook High School, Catholic Central West and other destinations in The Crossings. **This traffic will continue to grow.**

Since the opening of the Senator Joyce Fairbairn Middle School, a steady stream of morning traffic including school buses is utilizing Temple Blvd. to connect from Copperwood to the middle school. **This traffic will continue to grow.**

Many drivers traveling north on McMaster do not wait behind any vehicles waiting to turn left onto Temple Blvd., they swerve around them, right through the crosswalk.

Some parents traveling north on McMaster will attempt to turn left into the driveway of the proposed daycare property, across oncoming traffic, but will have to stop and further hold up traffic behind them as they wait for a break in oncoming traffic.

My home is six houses away from the intersection in question and I am very disappointed that only homes within a 60 metre radius were notified of this application. I believe this notification limit is woefully inadequate to sufficiently engage with affected neighbourhoods on developments such as this, and I feel it should be re-evaluated as soon as possible.

I implore you to rescind this development approval because:

- the site lacks sufficient safe parking, both on and off-street
- the morning traffic congestion continues to worsen at this intersection
- an imminent danger exists to a large number of families when they park and attempt to cross either roadway near this property that was intended to be a single family house in a single family neighbourhood.

Sincerely,

Barb G. Tate

May 30, 2019.

Secretary of the subdivision and development
Appeal Board -

To whom it may concern -

We are **OPPOSED** to the daycare

at 250 Mc Master Blvd.

We have lived on this street
for 30 years - As you know the traffic
has gotten terrible.

To take my grandchildren to
school it could take 5 minutes to get
out on the road.

That was over 10 years ago it
is much worse now. Pulling into
the driveway can be dangerous.

Sincerely

McMaster

342 Mc Master Blvd.

Lethbridge T1K 4R5

CITY OF LETHBRIDGE
RECEIVED

MAY 31 2019

OFFICE OF THE
CITY CLERK

Subdivision and Development Appeal Board,
City of Lethbridge, 910 – 4th Ave South,
Lethbridge, AB

RE: Notice to Neighbours – 250 McMaster Blvd W – Establishment of Daycare

We have lived at 11 Temple Crescent (2 houses down the alley from the proposed facility) for 37 years. We specifically chose the location because it was zoned a Low-Density Residential area. We based this decision on our perceived quality of life living in such a neighbourhood (low traffic, quiet neighbourhood, future resale value, and houses occupied by families). We are strongly opposed to the application as we believe that it will have an immediate, negative impact on the neighbourhood!

Our major concerns are:

- **Noise** – With a possibility of 50 young children playing in the backyard, there will be an impact on the neighbours. The website of the Wild Things Learning Centre states that they provide daily opportunities for outdoor play. We are both retired, as are many of our neighbours, and spend many hours enjoying the serenity of our backyard space. The arrival of up to 18 voices outside playing down the lane will have a definite impact on our enjoyment of our yard and that of our neighbours.
- **Property Value** – We chose our location so that we could maintain a stable property value in a low density, residential area. We purposefully avoided any area that would have commercial or medium to high density dwellings. We have paid our city taxes based on an assessment of our property that reflects the neighbourhood we live within. The arrival of a large daycare will definitely have a negative impact on the value of our home. It would be difficult to determine the impact on property value but it would definitely have an impact on the number of individuals that would consider buying that close to a large daycare.
- **Parking / Traffic** The city notice states the application would be for a maximum of 50 children and 9 staff members. This would require 9 onsite parking spots. The City has also recommended that they use two of their parking stalls as a “loading zone”. They have 4 available parking spots onsite. If two of those are designated for a loading zone, they really only have 2 onsite parking stalls. They were given a waiver for 5 offsite parking stalls but would in fact require a waiver for 7 offsite spots. I do not believe they meet the requirements for required parking if two of their spots are designated as a loading zone. I do not believe that it is appropriate to provide a waiver for 7 spots in Low Density Residential areas.

The availability of parking on the east side (park side) of McMaster Blvd. was the rationale for the approval of the original waiver. Since it was a “Snow Route” they would need to find alternate parking at that time. During the winter, the city plows McMaster Blvd and windrows the snow along the curb on the east side of the road. There is no sidewalk along the road at this point. Individuals will then have to walk on the traffic side of their vehicle to get to the pedestrian crosswalk at the corner. This is not a safe situation when roads are clear and in the winter with snow covered roads makes it extremely dangerous.

With this approval, the City has approved, in a Low-Density Residential Area, up to 100 customers per day to access the daycare services. (50 children per day X 2 visits – drop off and pick up). This will have a definite impact on the traffic throughout the neighbouring streets.

- **Drop Off and Pick Up Zone** - Many parents drop off first thing in the morning and pick up after work. Parents need to park their vehicle, get their young child out of a car seat, take them into the facility and then return to their vehicles. When they pick them up, they will have to repeat the process, this time allowing for sufficient time for the children to get properly dressed (especially in the winter) which will add a great deal of additional time. It is suggested that they use two of the parking spots on their driveway as their loading zone. Traffic on McMaster Blvd. has become extremely busy and will make backing out of the driveway extremely difficult. With only two spots for loading, people will use the residential areas surrounding the daycare to drop off their young children. This will increase the traffic throughout the neighbourhood. That will create a parking nightmare in that area. z
- **Traffic / Safety Concerns** – With the opening of Metis Trail at the west end of Temple Blvd. and the development in the Crossings / Copperwood area of the city, traffic utilizing McMaster Blvd and Temple Crescent has greatly increased. Much of the congestion occurs between 7:00am and 9:00am and then again at the end of the day when individuals are returning home from school or work at 3:30 to 5:30pm. Those are the same times that many parents will be arriving at the proposed daycare to drop off or pick up children. This will make traffic extremely congested at the corner where the proposed daycare is located, which will have created a definite safety concern for children and adults alike.
- **Aesthetics of Neighbourhood** – We purchased our residence close to Nicholas Sheran Park. McMaster Blvd has many homes with landscaped front yards. A 50 child daycare is definitely not in harmony with the across across from the park and in the immediate neighbourhood.

In summary, our concerns are that the proposed development:

- Is not consistent with the character of the surrounding neighbourhood.
- Will have an impact on the use, enjoyment, and value on the neighbouring properties
- Will create an unsafe environment due to the traffic and parking concerns created.

We urge the Subdivision and Development Appeal Board to overturn the decision of the Municipal Planning Commission and not allow the development to proceed.

Annie and John Loree
11 Temple Crescent, Lethbridge

CITY OF LETHBRIDGE
RECEIVED

JUN 03 2019

OFFICE OF THE
CITY CLERK

May 29, 2019

The Secretary
Subdivision and Development Appeal Board
City Hall
910 – 4 Avenue South
Lethbridge, Alberta T1J 0P6

Re: 250 McMaster Blvd W – Application No DEV11073

This is an appeal of the May 7, 2019 of the Municipal Planning Commission (MPC) decision to allow a 50-child daycare at 250 McMaster Blvd W, Lethbridge.

Many sources indicate a need for more childcare spaces. That is not in dispute nor is the desire to have Lethbridge viewed as a good place to open and operate a business. However, economic development must not be to the detriment of adjacent residential properties nor should a need for more daycare spaces mean that a 50-child daycare be shoehorned into an established neighbourhood. It is an inappropriate location and the MPC decision was based on erroneous and incomplete information.

The specific grounds for this appeal are as follows:

1. **Parking Waiver**

Land Use Bylaw 5700 – 9.22.5 requires that 1 parking space per employee be provided and loading/unloading is at the discretion of the Development Authority. The Development Officer indicated that the City is requiring the applicant to provide on-site loading/unloading. The application for the Development requests a waiver of 5 off street parking spaces. Four on-site parking spaces would be required for staff parking. There are only 4 on-site parking spaces, 2 of which must be signed and maintained for loading and unloading. That leaves only 2 spaces available for on-site staff parking, making the parking waiver 7, not the 5 spaces that were approved by the MPC. Further, having only 2 loading/unloading spaces seems woefully inadequate to accommodate drop off/pick up for 50 children, the majority of whom arrive/depart within two-hour windows morning and afternoon.

A waiver of more than half of the required staff parking and loading/unloading spaces is an excessive exception and shows that 250 McMaster Blvd. is an unsuitable location for the proposed development.

The MPC was told that the excess staff parking would be accommodated on both sides of McMaster. There is very little room for legal on-street parking (possibly 3 vehicles) on the west side of McMaster Blvd. due to a fire hydrant, front driveways, and required setback from a crosswalk. The lack of parking in front of the property is also a limitation for loading/unloading. Parking on the east side of McMaster Blvd is undesirable for several reasons. McMaster Blvd. is a busy collector road and to have 4 to 7 cars parked across from 250 McMaster Blvd weekdays would

cause additional congestion and slow traffic flow. For context, the Transportation and Engineering Manager recommended no parking on 6th Avenue South, in front of a 34-child daycare, due to the high traffic volume and poor visibility. McMaster Blvd. is considerably busier than 6th Avenue South at 28th street. Oddly enough, the Development Officer reported to the MPC that parking on the east side of McMaster was a desirable measure. However, a member of MPC did an online search during the meeting and reported to MPC that parking along a collector road is counter indicated in other jurisdictions. Further, there is no requirement that staff must park on McMaster Blvd. and it is more likely that they will park in front of the residences on Temple Blvd. to avoid crossing the busier McMaster Blvd traffic. The Development Officer stated that “they will not be affecting any of the residential properties”. Having staff vehicles parked in front of my house all day on weekdays will most certainly affect my property. I recognize that it is legal for the staff to park in front of residences, but it is certainly not desirable and doesn’t seem reasonable that parking for a business in a residential neighbourhood would be allowed to be a nuisance for the neighbouring properties. The neighbours at the applicant’s other daycare business on 6th avenue south have reported that it is common for staff to park in front of the residences, even though there is a five-vehicle staff parking lot. I believe that the Land Use By-law requiring on-site parking was written to avoid excessive on-street parking for a business in a residential neighborhood.

2. Undue Interference with the Use or Enjoyment of Neighbouring Properties

The Development Officer reported to the MPC that “this proposal does not present any undue interference with the neighbourhood amenity and would not materially interfere with or affect the use, enjoyment or value of neighbouring properties.” It is overreaching on the part of the Development Officer to say that allowing a business with 50 children and 9 employees would not “materially interfere with or affect the use, enjoyment or value of neighbouring properties”. I think that is a judgement more reasonably left to those of us in neighbouring properties to say how we believe it will affect our use and enjoyment of our properties. The insertion of 18 to as many as 36 children with four adults in what amounts to my backyard, Monday through Friday, on any day the weather is appropriate for outdoor activity, is most certainly going to materially interfere with and affect my use and enjoyment of my property. My home is immediately west of the proposed development and I will be significantly impacted by the increased noise. While the noise associated with children playing can be characterized as joyful, constant noise from many children the entire time they are outside, changes that noise from joyful to grating.

The Development Officer stated that the children are not outside all day and go in for lunch and naps and the daycare would not be opened after 6:00 p.m. This implies that she thinks it is appropriate that I limit the peaceful enjoyment of my property to lunch and nap times at the daycare and after 6:00 p.m. on weekdays.

The Development Officer also said that *most* people (but not all) work during the day”. This again is a false statement in the affected neighbourhood. All eight of the closest properties (3 on Temple Crescent, 4 on Temple Blvd, and immediate neighbour on McMaster Blvd.) are occupied by people who are either retired or work from home during the day.

The applicant indicated that the noise would be mitigated since they would be taking the children to Nicholas Sheran Park across the street. Alberta Childcare Licensing Regulations 19(1) require that the outdoor play space must be

*...adjacent to or within **easy and safe walking distance** from the program premises and accommodates at least 50% of the licensed capacity at a level of not less than 2 square metres for each child under 19 months of age and not less than 4.5 square metres for each child who is 19 months of age or over.*

*(2) The licence holder must ensure that (a) the outdoor play space referred to in subsection (1) is **securely enclosed on all sides**, ...*

Nicholas Sheran Park is not fenced and therefore, not securely enclosed. It is not an easy and safe walking distance since it is accessed by crossing a busy collector road (McMaster Blvd.) and the playground space is immediately adjacent to the lake. The approval of this application has the potential to put the children at risk if the applicant follows through with their stated intent to take the children across McMaster Blvd. to an unfenced area. The assertion that noise would be mitigated by use of Nicholas Sheran Park seem to be a “red herring” and not a genuine solution to the noise.

The Development Officer indicated to the MPC May 7, 2019 meeting that other daycares have not had traffic or noise complaints. The April 23, 2013 MPC meeting minutes at which the 6th Avenue daycare was approved and at which the same Development Officer presented, show that there have been complaints from neighbours of other daycares related to traffic and noise.

3. Interference with the Value of Neighborhood Properties

The Development Officer indicated that the development would not materially interfere with the value of neighbouring properties. This is not a statement based on professional opinion of a property appraiser nor real estate agent. Lenders rely on an appraiser to provide an independent estimate of the value a property. The appraiser is a member of a third-party company and is not directly associated with the lender nor the City.

The MPC was told that no properties next to Aslan daycare on Jerry Potts Blvd received a tax adjustment. There was no report if any had applied. Aslan daycare on Jerry Potts Blvd is not zoned R-L. It is E-B (public building) which may already have been considered by the tax department when assessing those properties. The process for getting a tax adjustment is quite involved and likely a deterrent to application. It is the opinion of real estate professionals I spoke to, that it is likely that a 50-child daycare immediately next door to my home will negatively impact market value and desirability of my property.

4. Reduced Privacy

The applicant has installed a two-level play structure in the backyard of 250 McMaster Blvd. W. That play structure is approximately 6 feet taller than my 6 foot fence and overlooks our backyard, intruding on our privacy.

5. Traffic Safety Concerns

When speaking of the additional traffic that will be generated by this proposal, the Development Officer said that the “vehicles will not arrive all at once”. Although she had the

statistics for drop off and pick up times that the applicant had provided from her existing daycare on 6 Avenue South, the Development Officer failed to provide them to the MPC. The actual figures show that 76% of vehicles arrive between 7:15 and 9:00 a.m. and 100% of the pick-ups were between 3:30 and 5:30 p.m. The reporting daycare is licensed for 34 children/5 employees while this proposal before the MPC and the Appeal Board is for 50 children/9 employees. This means there is a very real potential for 50 vehicles dropping off or picking up children within a two-hour window, during rush hour on McMaster Blvd. with only 2 designated loading/unloading spaces.

It is important to recognize that there is the very real potential for 100 trips per day backing over a sidewalk which is used by children travelling to and from the neighbourhood schools. Most certainly the additional traffic will create an exponential hazard to those walking/or cycling children on that sidewalk. This additional hazard is deeply concerning, particularly when one considers the number of days of cold, snowy weather and how common inadequate snow removal on cars is. Further, for a good many of the months, it will not be daylight during drop off and pick up times. This is a very serious concern for the safety of those children using the sidewalk as their route to and from school.

The traffic department has indicated that the road network can handle the additional traffic that would be generated on McMaster Blvd and Temple Blvd. On paper this seems like an accurate statement; however, it is based on flow through traffic and does not consider as many as 52 cars turning into the driveway in the morning and backing out at the end of the day, both during peak commuter times. I remind you that the sidewalk is a pedestrian route for children attending the neighbourhood schools and we have winter conditions during as many as 8 months of the year.

The traffic numbers presented to the MPC were based on a 2016 study. In reviewing the census, growth in west Lethbridge has been at a rate averaging more than 2% annually from 2016 to 2018. While I acknowledge that not all the increased traffic generated by the increase in population will travel on McMaster and Temple Blvds, it has been our real-time experience that the traffic on these two collector roads has increased significantly in the last three years.

A real-time experience that occurred just after noon on a Sunday will give you some perspective on traffic flow on McMaster. We were travelling north on McMaster and attempting to turn left onto Temple Blvd. While we waited for oncoming southbound traffic, no less than 10 cars passed us on the right. While this is an illegal move, it is common at that intersection. We have also seen the traffic backed up from the Columbia Blvd traffic lights south to further than we can see. It is counter-intuitive to add traffic in large numbers that will be slowing to turn in and then backing out of a driveway during rush hours. It seems like intentionally creating the likelihood of a collision.

6. Lack of Precedent

Following the MPC meeting I spoke to one of the MPC members who told me that their decision had to be based on precedent. It was troubling to hear that the MPC decision was based on precedent since there were no precedents cited at the meeting. Subsequent to the meeting I tried to find any precedents for daycares with conditions materially similar to 250 McMaster Blvd. I was unable to find any daycare in the city that was similar. There are two other daycares

in residences on the West side. Neither is a match to the 250 McMaster application as it relates to zoning, traffic volume, neighbouring zoning, parking, or size of the daycare.

7. Undesirable Increased Population Density

This proposal would markedly increase the population density of the neighbourhood, which by my count is mostly 2 people per property with two properties having one occupant, one property having 4 and another, which was recently converted to a duplex, has 5 (I believe). To insert a business with 59 occupants into such a low population residential neighbourhood is not acceptable and certainly an affront to the current residents.

There were 7 letters of objections submitted to the MPC from the affected neighbours. Those valid concerns should have held considerable weight, but they were not valued by the MPC. There were no expressions of support for the daycare from any of the property owners affected by the proposal. All letters of support were from people living on the south side of Lethbridge and not affected by the proposed business. Additional letters of support were submitted with the meeting agenda, all of which were from people living on the south side and unaffected by the proposal and did not relate to zoning issues. It is my view that out-of-area letters are irrelevant to the zoning of 250 McMaster Blvd. and should not have been considered by the MPC.

It is my opinion that the Development Office was overly zealous in promoting the establishment of a business in a Low-Density Residential neighbourhood. She supported the application based on it being an allowable use and referred to 6.1.1 of the Integrated Community Sustainability Plan/Municipal Development Plan: "Lethbridge is a Good Place to Open and Operate a Business". Her presentation to the MPC disregarded the very real negative impact on the neighbours and traffic safety hazards of establishing a business in an R-L zoned neighbourhood at the intersection of two collector roads. It is preposterous to rely on a "Development Plan" to the detriment on a well-established R-L zoned neighbourhood.

I am aware that Child Care, Minor is a discretionary use in areas zoned R-L Low Density Residential within the terms of Land Use Bylaw 5700 and the proposal for 250 McMaster Blvd meets the criteria for Child Care, Minor. However, it can only meet the criteria with significant waivers and if the significant interference to the neighbours and increased traffic hazards are disregarded. The MPC was not given accurate information by the Development Officer and applicant. It is a discretionary use which means it is optional. There are compelling reasons why 250 McMaster in an inappropriate location for a 50 child/9 employee daycare business. I strongly believe that just because it can be approved, does not mean it is an appropriate intrusion to the neighbourhood.

Any one of these errors ought to be considered ample grounds to not allow this development. In their totality it is clear the MPC did not have the appropriate information on which to make a reasonable, informed decision.

Whether it was intentional on the part of the Development Office to mislead the MPC or it was a lack of clarity, the outcome is the same. Whether I push someone off a 3-story building, or I accidentally bump them off, the outcome is the same for the victim. There is a very real concern related to the increased hazard created by the considerable number of vehicles crossing a sidewalk on a busy collector road. The outcome in the case of the MPC decision, if not overturned, is that this business will be in my low-

density residential zoned backyard irrevocably. My neighbours and I will be burdened with the consequences of the mistake.

For the many and valid reasons enumerated, I urge the Development Appeal Board to deny approval of the application for a 50-child daycare at 250 McMaster Blvd. West. There is no legal obligation to allow the development; however, there are numerous compelling reasons why it is an unsuitable location for a daycare.

Respectfully,

A handwritten signature in blue ink that reads "Rita Law". The signature is written in a cursive style with a large initial "R".

Rita Law
3 Temple Blvd. W.

250 McMaster Blvd W – NW corner of McMaster Blvd & Temple Blvd

Our home is at 3 Temple Blvd, West. Our property shares 121 feet of common fence along the proposed outside recreation area at 250 McMaster Blvd.

I will be referring to:

Applicant for proposed day-care at 250 McMaster Blvd West
Angela Olsen – City Development Department
Maureen Gaehring – City of Lethbridge Community Planning Manager
Ahmed Ali – City Traffic Department
Darwin – City Traffic Department (Ahmed Ali's supervisor)
Heath Wright – City Chief Fire Marshal

Topics of concern:

Parking waivers / Excess traffic risks for pedestrian & motorists / Day-care recreation area /
Neighborhood Dynamics / Potential Noise - Mischief Section 430 Criminal Code

Lethbridge Bylaw requires one parking place be provided for each of the nine employees.

Part of the original application asked the City to supply a Loading Zone along Temple Blvd West.
This was not approved by the City.

Why would the City be responsible to supply a Loading Zone for a business in a residential area?

The applicant would need to supply a nine-car staff parking plus two Loading Zone parking. Total of eleven parking spaces.

The latest proposal has only two staff vehicles parking north of the existing garage. The double wide Loading Zone will be on the remaining driveway, located on the applicant's property, between the public sidewalk and the existing garage.

This will require seven staff to park off the property.

Applicant has applied for a five-car waiver. When I pointed out this discrepancy to Ms. Olsen at the May 7th, 2019 meeting, she was adamant there is only a need for a five-car waiver. Ms. Olsen suggested the two parking spots on the driveway were designated Loading Zone as well as two staff parking.

I don't fully understand how four cars can park in two spaces, as suggested by Ms. Olsen.

When the five-car waiver was proposed to the MPC it was confirmed this would be one of the highest approved waivers for any day-care in Lethbridge. 55% parking waiver.

With seven staff needing to park off site, my math shows a 77% parking waiver is required. With more than three quarter of staff having to park off site, the applicant can not come close to qualifying for the bylaw parking requirement.

This fact was not clearly disclosed to the MPC at the May 7th, 2019 meeting. One might believe the request for a five-car waiver was a tactic to minimize the numbers presented to the MPC.

The applicant fails to meet their parking requirement without receiving an extensive parking waiver.

Applicant and Ms. Olsen suggested the staff would be encouraged to use east and west sides of McMaster Blvd. for staff parking.

The concern about parking on McMaster was brought up to Ms. Olsen by one MPC member. That MPC member's research revealed the idea to reduce traffic flow on a collector road is a negative tactic and is in total opposition to other city policies. MPC member advised his research suggested parking on a collector road was not recommended, in fact it's discouraged.

Ms. Olsen reported to MPC that Ahmed Ali was encouraging the parking on McMaster Blvd. She reinforced the idea that Ahmed Ali thought it would work to slow the traffic flow on McMaster Blvd.

Currently the morning traffic northbound on McMaster Blvd can be backed up for blocks waiting for the left turns being made from McMaster Blvd onto Temple Blvd. How much slower would they like the traffic to be? To have other northbound vehicles turn left into 250 McMaster only 100 feet farther north on McMaster Blvd will add more traffic congestion.

At our 21 May 2019 meeting with Maureen Gaehring, Ahmed Ali and Darwin all three advised the day-care staff could park wherever they wish in any legal parking spot in the area. McMaster Blvd parking would be optional. To encourage parking on McMaster Blvd to slow the traffic down was not even mentioned by Ahmed or Darwin.

The closest on street parking spot is just north of the 250 McMaster driveway. Parking here will impact visibility for cars backing out of 250 McMaster as well as traffic traveling southbound on McMaster.

Potentially, 102 cars will back out of 250 McMaster onto McMaster Blvd each day. (6 am to 6 pm)

Some drivers exiting 250 McMaster will attempt backing across southbound lanes into northbound McMaster traffic, wanting to travel north, even in rush hour traffic. Yes, it is legal, but this will drastically increase the traffic risks.

Each car entering the Loading Zone must exit McMaster Blvd, cross the twenty five foot city boulevard and public sidewalk. Drivers will need to reverse the process when backing onto McMaster Blvd.

In early April 2019, Ms. Olsen suggested the applicant send the traffic unloading and pickup records for their 6th Ave E and 28th Street E location to Ahmed Ali. A one day record was sent to Ahmed for 3 April 2019.

Applicant reported of 34 clients **70% were dropped off between 7 am and 9 am.** (21 of 31). Plus 3 children were walked to the day-care. (24 Intake) [**9 children not accounted for from 33 Pickup**]

Applicant reported of 34 clients **93% were picked up between 3:30 pm and 5:30 pm.** (29 of 31) Plus 4 children were walked home from the day-care. (33 Pickup)

At our 21 May 2019 meeting with Maureen Gaehring, Ahmed Ali and Darwin where asked about the traffic flow comparison between McMaster and 6 Ave East, Darwin stated the numbers were higher on McMaster and it would not be a good comparison. The last statistics were from 2016.

At the 7th of May 2019 planning meeting, the applicant and Ms. Olsen presented to the MPC that the children are dropped off and picked up throughout the day. MPC were told no specific number were available when in fact the numbers were available. Statistics were sent to Ahmed on 4 April 2019 and were available for more than a month.

Ahmed Ali gave us a copy of the vehicle activity of the 6th Ave E & 28 St E day-care for Wednesday 3 April 2019. This information was sent to Ahmed on 4 April 2019.

Since the applicant brought up the topic of St Martha School, let us note what the school has done to increase the traffic safety along McMaster Blvd.

St. Martha's school made an extensive improvement to the drop off area to avoid the very problem 250 McMaster will create. Specifically addressing vehicles exiting McMaster Blvd to unload and load children at the school and vehicles reentering the traffic flow on McMaster Blvd. **No backing across the sidewalk. No backing into McMaster Blvd traffic.** This proactive improvement provides greater safety for both pedestrian and motorists in the area.

The proposed day-care Loading Zone requires the cars to cross the public sidewalk up to 204 times daily. (6 am to 6 pm) 102 times driving in and 102 times backing out. A significant increase of vehicles affecting pedestrians going north and south along McMaster.

Many of these pedestrians are children going to and from school.

In our meeting with Maureen Gaehring , Ahmed Ali and Darwin, I presented our concern with the increase traffic turning left into 250 McMaster, the volume of cars crossing the sidewalk into the Loading Zone and the cars then backing back onto McMaster.

Darwin's response was the turns are legal and it is up to the drivers to drive safely and violations will be enforced by the Police. They were not concerned about the additional congestion or increased risks to pedestrians or motorists.

Legal is one thing, logic and common sense is another. With twenty years of experience as a Police Officer I understand the traffic risks and dangers.

How many other residential driveways along McMaster Blvd have 102 vehicles backing out daily onto McMaster Blvd? **(up to 90 times during rush hour traffic)**

When I explained the traffic information with Chief Fire Marshal Wright, he identified the hazard immediately, even focusing on the effect for City Emergency Vehicles.

This increased traffic activity has been minimized by some City departments. The fact it may be legal does not negate the fact it will increase risk for pedestrians and motorists.

The traffic safety problem addressed by St. Martha's school will be magnified exponentially by the day-care traffic if it is permitted to locate at this busy intersection.

Darkness for winter drop off and pickup with frosty windows, snow on vehicles and walkways, and slippery roads will add to the traffic and pedestrian risks and dangers. Sunrise as late as 8:30 am and sunset as soon as 4:30 pm.

How is this positive for safety and traffic flow?

Ms. Olsen estimated numbers when asked for traffic data by the MPC at the May 7th, 2019 meeting. Ms. Olsen did not have the actual numbers to report. City traffic statistics sited from 2016 data. Was this an attempt to minimize the traffic impact for the MPC?

Example: Having 100 vehicles added to the current traffic flow will equate to about 1% increase in traffic. This was acceptable to most MPC members.

When current residents brought some of these traffic concerns up at the May 7th, 2019 meeting it seemed to be minimized or dismissed by Ms. Olsen and some of the MPC.

No concern was given for slowing traffic to turn off or backing onto McMaster by the day-care clients. No concern for pedestrian traffic that will have the sidewalk crossed over 200 times per day at this address.

The applicant brought up the fact that the current residents are familiar with childhood noises because of St Martha School located north on McMaster Blvd. (No precedents cited.)

St Martha school has 220 students & 30 staff. Playground area of the school exceeds 250,000 square feet. (minimum of 1 person per 1000 square feet) The school playground structures are at least 140 feet from the closest residential yard. The children are usually in the school yard at lunch time and recess.

We hear little if any noise from the school yard. School yard begins about 720 feet north of our back fence and extends northward.

Proposed back yard for children at 250 McMaster is 3,082 square feet. The south 350 square feet of the yard has obstructed view due to the building configuration. The air conditioning unit, power meter and gas meter are in this corner of the yard. **(not a safe play area)**

The play structure at 250 McMaster is 13 feet from our yard of 3 Temple. The two level play structure is clearly visible from our open deck with little or no barrier to reduce the sound coming from the play structure and play area.

Applicant claims groups of 18 children will use the yard at one time. Add two supervisors, twenty individuals will occupy the better part of 2678 square feet. (1 person / 133 square feet) We would be expected to have twenty additional individuals playing within 10 to 60 feet of our back deck at 3 Temple Blvd.

Applicant suggested some children (unknown numbers) will be going to kindergarten. Through later June, July and August there is no school and children will be at the day-care all day. (7am to 5:30 pm)

With up to fifty eligible children being in the proposed business, it is suspected two groups of twenty could use the yard area for their recreation.

Applicant suggested the day-care could use Sheran Park for some of the children's recreation. Alberta Licensing Regulations require the play space be fenced. What parts of the Park are they referring to? Do the applicants deem this as outdoor play space? The train park is bordered by open water and would violate regulations.

Applicant suggested most adults work through the day and would be away at work during the daytime hours while the Day-Care is operating. False assumption attempting to minimize the noise impact on the neighborhood.

Eight neighboring properties (closest to 250 McMaster) all have residents at home through the day while the day-care is operating.

Applicant and Lethbridge City Staff mentioned the children would not be outside all day. The children would go inside for lunch and two snack breaks.

Are we expected to arrange our outdoor relaxing time around the children's inside time? Will a second group of children be rotated outside so there could be children in the yard all day?

The design of our home has an open deck overlooking our back yard and the proposed play area. We have three windows which open in the direction of 250 McMaster. These windows are open most summer days. We will hear the noise from the play area even when we are inside.

The noise impact to the neighborhood dynamics has been minimized, overlooked or intentionally ignored.

Maureen Gaehring , City of Lethbridge Community Planning Manager, inferred that children's voices can not constitute a violation under any city bylaw. Maureen suggested there is no other legislation which would address the noise concern.

Let me point out Section 430 of the Criminal Code - Note subsections (c) & (d).

Mischief

- **430 (1)** Every one commits mischief who wilfully
 - **(a)** destroys or damages property;
 - **(b)** renders property dangerous, useless, inoperative or ineffective;
 - **(c) obstructs, interrupts or interferes with the lawful use, enjoyment or operation of property; or**
 - **(d) obstructs, interrupts or interferes with any person in the lawful use, enjoyment or operation of property.**

The day-care noise will interrupt and interfere with our lawful use and enjoyment of our property. The same is true for all the neighbors I have spoken with.

The applicant and Ms. Olsen suggested the children's noise will not affect the neighbors. This is another false assumption on their part.

The Criminal Code supersedes the City of Lethbridge Bylaws.

The City may allow waivers to the City Bylaws.

The City cannot allow waivers to the Criminal Code.

The primary purpose for this property is for residence. The use of the property for a business is secondary. There is no intention for the applicant to use the property as a residence. The use of this property for a day-care is **discretionary** and conditions must be met by the applicant.

Summary:

The applicant referred to St. Martha's school with respect to child noise and concentration. Applying equal ratio means two children and one supervisor in the day-care play area of 250 McMaster.

Applicant proposes to have **nine times the children's noise** in a more concentrated area. Twenty-person groups playing **within 60 feet**.

Applicant has allowed a **13 foot buffer** from their play structure rather than **140 foot buffer** provided by St. Martha's School.

Applicant cannot supply ample parking for their staff as required. St. Martha's School does.

Applicant requires a **77% parking waiver**; this is much higher than any other day-care in the city and two more cars than Ms. Olsen indicated to the MPC at the May 7th, 2019 meeting.

Applicant and City of Lethbridge have proposed a legal process for the daily traffic flow in and out, accommodating the day-care business.

Safety concerns for both pedestrian and traffic flow have been dismissed. **204 vehicles crossing the sidewalk. 102 times forward, 102 times backing out onto McMaster Blvd. Up to 90 time in rush hour traffic.** Legal but presenting an increased danger for pedestrians and motorists.

Applicant inaccurately assumed most neighbors work away during noisy part of the day. (7 am to 5:30 pm) **Eight of the closest properties have residents at home through the day.**

Applicant cannot control the noise in the confined space **believing it will not interfere or impact the neighbor's enjoyment of their own property. (Violates Section 430 CC)**

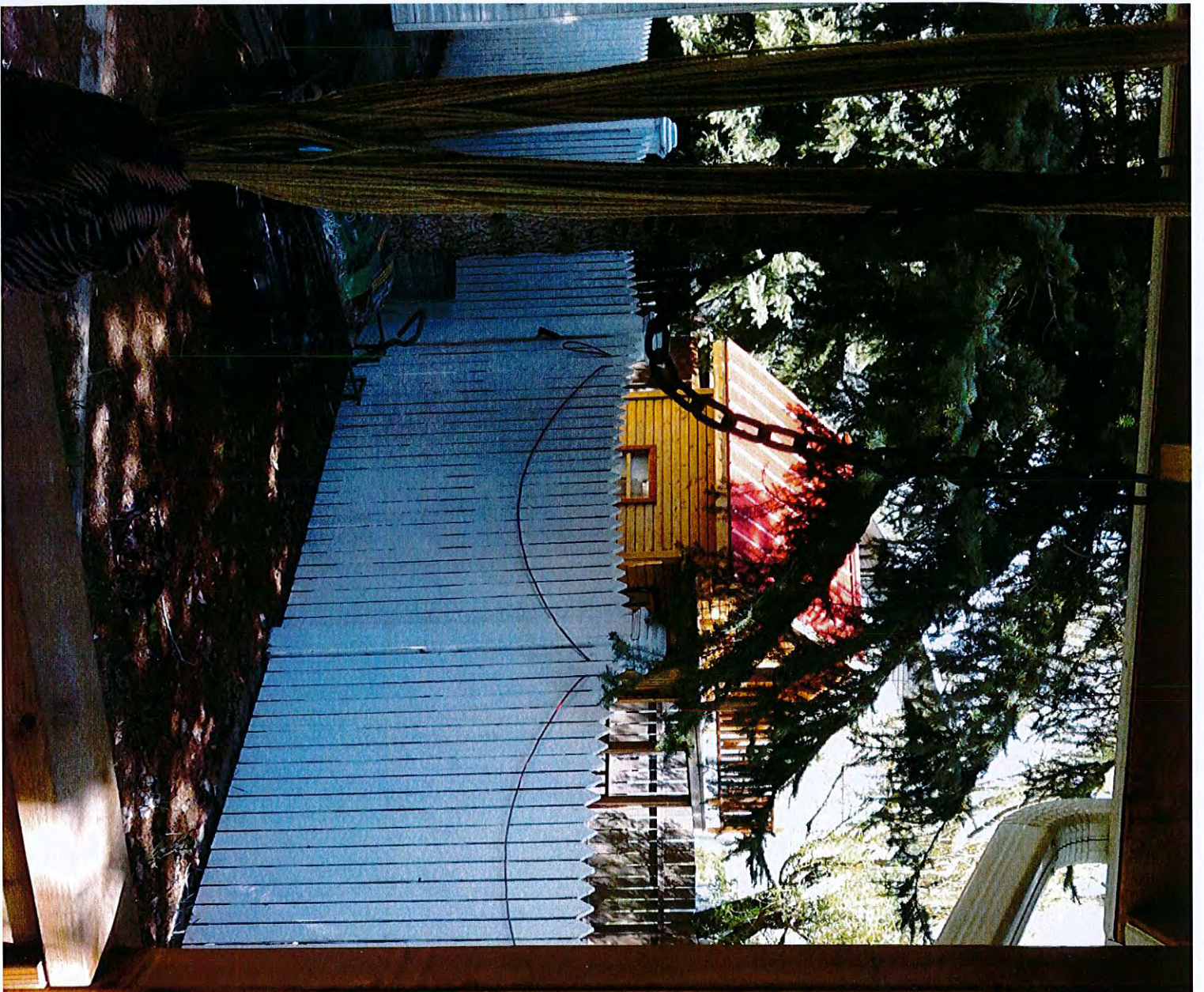
This community dynamics **are not conducive** for the proposed day-care.

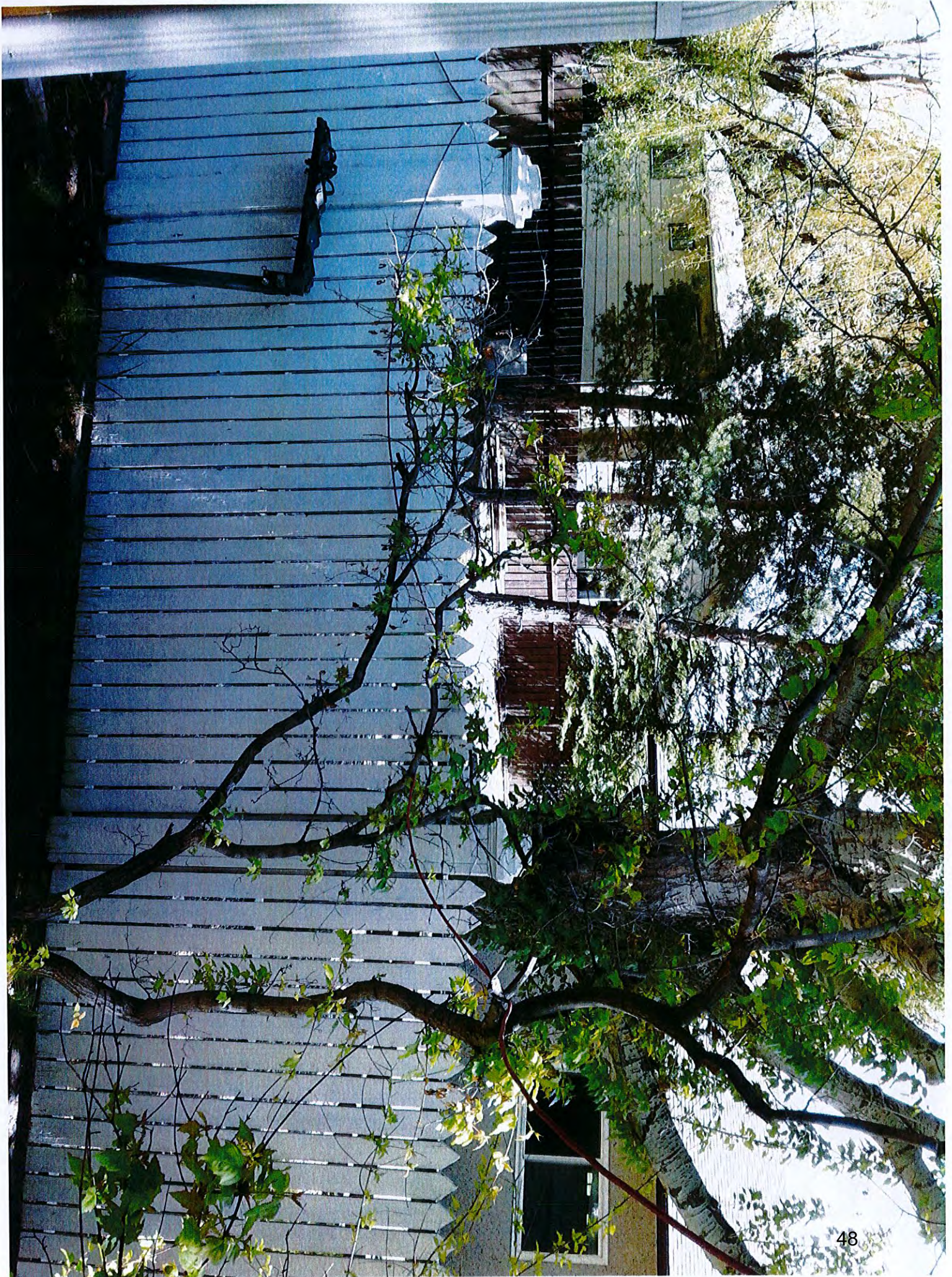
Professional Real Estate Agents agree the **Market Value of the neighboring properties will decrease** because of a day-care. A day-care will limit future buyers for all affected properties.

Respectfully,



Dwaine Law – 3 Temple Blvd West, Lethbridge, AB













52



53







Amie and Morgan Schaufele
639 10St S Lethbridge AB
June 10, 2019

David Sarsfield
Board Secretary of the Subdivision and Development Appeal Board
City Clerk's Office
910-4th Ave S Lethbridge AB

Dear Mr. Sarsfield:

This letter is in support of the proposed west side site of Where the Wild Things Grow Daycare. The site addresses a very real need in the city and although the concerns from residents in the neighborhood are understandable, the importance of quality daycare in the area is vital to our growing city.

To begin with, I would like to address the concerns about noise and traffic. We live at 639 10 St S. Our backyard is kitty-corner to Caspian Daycare, a daycare of the same size as the proposed west side daycare. The noise from the daycare does not disturb our enjoyment of our backyard. It certainly doesn't violate any criminal code or city bylaw regarding noise violations or mischief as one of the residents claims.

Caspian Daycare also does not have a driveway or any specific loading zone for parents. Because of the new pedestrian lights on 6th avenue, we have to drive down 11th street to get to our house. We have never had a problem or been inconvenienced by any parent picking up or dropping off their children in the mornings or afternoons even without a driveway or loading zone. As far as our own situation goes at the south side location of Where the Wild Things Grow, we have two children that we need to load and unload, and it takes us no more than a few minutes, even in the winter when they need to be bundled up. Because parents drop off and pick up at differing times throughout the mornings and afternoons, we've never had to park in no-parking zones or in front of neighboring houses in order to get our children to or from the south side location of Where the Wild Things Grow.

More significantly than the issues outlined above, I want to emphasize the importance of high quality, safe, accredited daycares throughout the city. Lethbridge is a rapidly growing city which is attractive for young families who appreciate the small city feel with the conveniences of a larger city. Unfortunately, quality childcare is extremely hard to secure here. The fact is, the majority of families require that parents (whether single or two-parent families) work to provide for their families. Staying at home with children is a luxury that many can no longer afford. To disregard the need for quality daycares throughout the city is a privileged position that is ignorant to the real needs of families in our city.

Furthermore, one of the reasons we chose Where the Wild Things Grow for our children is specifically because it's located in a residential area by Henderson Lake. We didn't feel comfortable having our children in care downtown or in commercial areas of the city. Those who chose to move to the Nicholas Sheran area did so because they value the aesthetics of the park and safety of the neighborhood and, as one resident states in their letter of appeal, "outdoor relaxing time." My girls will be in daycare for the formative years of their lives – I fail to see why they aren't considered as valuable and as important members of society as the retirees who live by the property. Just because they are children they are no less deserving of an enjoyable location in which to spend their days. My children should be afforded the right to enjoy the environment provided by the neighborhood rather than having to play next door to businesses along heavily trafficked thoroughfares or busy commercial areas.

A resident who is appealing the daycare states that the "community dynamics are not conducive for the proposed daycare." Not only is this statement willfully ignorant of all the young families who require quality daycare facilities in easy-to-reach areas close to their homes, it is also incredibly elitist and exclusionary. Should we not encourage a healthy dynamic within our communities? Daycares and small businesses such as the proposed site contribute to rich and inclusive neighborhoods in our city and should be encouraged rather than discouraged by a small number of residents who don't understand that this issue is bigger than a few minor perceived inconveniences. I would argue that the community dynamics are, in fact, very favourable for the proposed daycare.

Thank you for taking the time to carefully consider my letter and the importance of supporting the proposed daycare. By approving the west side location of Where the Wild Things Grow, you are approving high quality, safe care for the youngest citizens of our vibrant, growing city.

Please feel free to contact me with any further questions or concerns at amie.schaufele@gmail.com

Sincerely,

Amie and Morgan Schaufele and our daughters, Sybil and Phoebe

Patricia Lynch-Staunton

2403-19 Avenue South

Lethbridge AB T1H 1E8

April 28, 2019

To whom it may concern,

I am writing this letter in support of the proposed new child care facility in the Nicholas Sherin Community School catchment area by Where the Wild Things Grow. I have worked with this program in their capacity as a practicum site for Lethbridge College's Early Childhood Education program where I am a faculty member, and with the Director as the Chair of the Child Care Director's Association of Southwestern Alberta. In both capacities, I have seen a commitment to quality programming, underpinned by trained educators and play-based curriculum development.

The majority of Alberta's children 0 to 6 years of age participate in some form of non-parental early childhood education and care. Parents must balance the demands of raising a family with those of work inside and outside of the home; families draw support from the communities to which they belong; and young children benefit from opportunities to play and learn with other children. The labour participation rate for mothers with children less than 6 years old has risen from 35 percent in 1960 to around 70 percent in 2010. This increase has transformed family life and changed the way in which families balance the responsibilities of paid work, domestic work and raising children. Families in the Southwest region have access to regulated care at 24 spaces per 100 children 0 to 5 years. Science ... confirms that early experiences are the foundation for lifelong learning, behavior and health. (Muttart Foundation, 2010)

I have seen the owners of Where the Wild Things Grow demonstrate sensitivity to community needs and concerns in operating their first child care program in a residential area on the south side of Lethbridge and fully support their goal of expanding their services to the families and children of west Lethbridge.

I would be more than willing to respond to any concerns that may arise. Contact me at:

trish.lynchstaunton@gmail.com



Patricia Lynch-Staunton

Muttart Foundation. (2010). *In the Best Interests of Children and Families: A Discussion of Early Childhood Education and Care in Alberta*. Edmonton: Author



May 2, 2019

To Whom it May Concern,

Lethbridge Early Years Coalition would like to express our support for the proposed opening of a child care centre on the west side of Lethbridge by Where The Wild Things Grow Early Learning Centre Ltd.

Lethbridge Early Years Coalition (LEYC) is one of 98 Early Childhood Coalition in the province working to build community support for the early years of children's development. In 2018, LEYC received the most recent Early Development Instrument (EDI) data from the Alberta Government. The Lethbridge EDI data shows that by the age of 6 years old, approximately 1 in 4 children in Lethbridge are identified as "at risk" for life-long emotional, physical and interpersonal struggles. Research, such as that from Palix Foundation and Alberta Family Wellness Institute, show that a child's early experiences and environments during their first 5 years have a life long impact on everything from their physical to mental health, success in school, success in the work place and in relationships.

Access to affordable, quality child care is essential for families in Lethbridge. A recent report published by the Canadian Centre for Policy showed that Calgary's 78,385 children who haven't turned five share the city's 28,851 licensed child care spaces for non-school-aged children. Over half of Calgary's children live in the postal code with more than three children competing for everyone one childcare space. While we don't have statistical data available for comparisons in Lethbridge, it is apparent from discussions with parents and caregivers that there is a need for additional quality child care spaces in our city to meet the growing demand.

Where The Wild Things Grow Early Learning Centre staff actively participate in professional development on topics that include the Core Story of Brain Development, Executive Function skills, Outdoor Play and the Importance of Unstructured Play. The Director of Where the Wild Things Grow Early Learning Centre's philosophy and training equip their Centre to provide the quality, supportive environment and positive experiences Lethbridge children require for health brain development during their first years of life. It is centres such as Where The Wild Things Grow, that help our children get a strong start in life for successful future outcomes. This in turn makes a stronger and healthier community.

Lethbridge Early Years Coalition applauds Where The Wild Things Grow for their work and investment into our City's youngest citizen's healthy development. We are confident that additional services offered on the west side of Lethbridge would be an asset to the families with young children in our community.

Sincerely,

Vicki Hazelwood
Coordinator, Lethbridge Early Years Coalition

www.lethbridgeearlyyears.ca (403)715-4585 lethbridgeearlyyears@gmail.com

To whom it may concern:

RE: *"Where the Wild Things Grow"*
Child Care and Development Centre Program

I am retired and live in the neighborhood where many immediate neighbors, friends and acquaintances share my age stage of over 70 years. We have a neighborhood school, Agnes Davidson Elementary School, and the new Boys and Girls Club in our area. As well there are a few day homes scattered in nearby blocks.

Although, we are not immediately in proximity and view of the playgrounds, we are able to hear the children at play during recesses and lunch. This is a delight to our ears and reminds us that we are still part of a community alive and growing with new faces and new energy.

Some persons my age have not shared my love for children's smiles and ideas, noise and play. However, in the City of Lethbridge there are thriving communities created for persons over fifty that beckon freedom from the concerns of children and young families. Certainly, those preferring this style of life should be there.

However, older adults choosing to live in the homes of our mixed family neighborhoods must be ready for the variety of lifestyles presented which include the playful sounds, happy and sad, of our youngest citizens. Childcare programs of all types are "schools" for young children. Schools best serve children when they keep children in their own neighborhoods or similar neighborhoods in home-like style environments. This supports their understanding of our world and the near community. Any other places: malls, industrial areas, city businesses are less natural and create a more institutional setting. Day care centres in such areas are continually trying to create a more "homelike" environment because they are forced into a concrete and business style setting.

"Where the Wild Things Grow" is an Early Childhood Education (ECE) Program that flourishes in an area of the city where children can feel "at home." As an instructor in the ECE Department of Lethbridge College for many years, I am aware that the owner/operators of this centre have the knowledge and experience to be offering a very high quality care and learning program for young children. This program is an asset and model of ECE positive directions for children who are our future.

Sincerely,
Anita Cooper Ebright
Anita Cooper Ebright

Rebecca Riley
23-5 Acadia Road West
Lethbridge, AB T1K 4C1

June 17, 2019

Lethbridge City Council
910 4 Avenue South
Lethbridge, AB T1J 0P6

Dear Lethbridge City Council,

My name is Rebecca Riley. I am writing today about the new day care facility wanting to open on the west side of Lethbridge. I am a mother of an eighteen month old and would like to share a bit of my story of finding childcare for my son.

I began looking for child care about a year ago. I was hoping to find a spot for my son on the west side of Lethbridge since I never know where or when I will be working during the days. Finding a facility that had spots available my child and that accepted subsidy proved to be impossible in the end. After months of searching and having my son in a dayhome that was not fit for my child, we have him enrolled in a dayhome across the city

I know my story is not unlike many others. Many of my friends have found it difficult to find great childcare for their children on the west side. It is my belief that by opening this new daycare that a lot of that trouble would be alleviated. This new daycare you would be creating many new spots for children who need care on the west side. It is not acceptable for those who prefer to stay on the west side to have to have child care across the city, especially when the population of the west side makes up for a large proportion of the city. I was trying to find a spot for one child, I could only imagine how difficult it would be for families with multiple children.

I have heard concerns of safety in the area and would urge you that you look at this crosswalk and make it safer for not only the citizens that currently use the crosswalk, but also the potential increased traffic from the dayhome.

It is my hope that you would continue to allow this day care facility to open to help many families from the west side. If you would like to speak to me further, please feel free to contact me at 587-220-4531.

Sincerely,

Rebecca Riley

From: Kayla Geraghty [mailto:geraghty.kayla@gmail.com]
Sent: Monday, June 17, 2019 2:45 PM
To: David Sarsfield <David.Sarsfield@lethbridge.ca>
Subject: New West side daycare

Good morning David,

I recently read on a local Facebook page about a potential new daycare opening on the West side of Lethbridge, across from Nicholas Sheran Park. I unfortunately can't attend the meeting, but wanted to send a quick e-mail to show my support. As a parent with 2 children who currently resides in Copperwood, I know first hand the need for more centres in the city, especially on the West side.

From what I read, it seems that most of the opposition for this project is based on parking and street congestion. As a former parent at Aslan Daycare (located on the corner of Jerry Potts Blvd) I do understand the concern. That said, these are problems that can be managed effectively.

I think having more accessible child care centres in Lethbridge is an important initiative and hope this project is approved.

Thank you for your time.

--

Kayla Geraghty

C: 306-514-2945 | E: geraghty.kayla@gmail.com

Lethbridge, Alberta

From: Shareen Price [<mailto:shareenrg@gmail.com>]

Sent: Monday, June 17, 2019 2:23 PM

To: 120 City Council Mailbox <council@lethbridge.ca>; 110 Mayor Mailbox <mayor@lethbridge.ca>

Cc: Where The Wild Things Grow Early Learning Centre <wherethewildthingsgrow@hotmail.ca>

Subject: re: appeal meeting for 250 McMaster Blvd W

Dear Mayor Spearman and Lethbridge City Councillors,

I am pleased to write this email in support of Where the Wild Things Grow Early Learning Centre and their bid to open a new location at 250 McMaster Blvd West. Unfortunately, I am unable to attend the meeting, but please accept this email in place of my personal testimony.

I am empathetic to the neighborhood concerns. Change is difficult, and humans have a habit of expecting the worst at times. My experience living in the neighborhood of Where the Wild Things Grow's current location has not seen these concerns borne out, and I hope by explaining my experience, some of their fears will be allayed:

1. Parking - The current location has 5 off-street parking spots and is located at a reasonably busy intersection. The facility has the same number of staff and children projected for the new location, and there are rarely issues with parking. Staff is diligent to inform parents where they may park if all spaces are full, and staff vehicles have not proven to be an issue. Due to parents' variations in work schedules, there is rarely congestion for pickup/dropoff. Because of these staggered pickups and dropoffs, traffic should not be significantly impacted.
2. Safety - I am confident in the ability of Where the Wild Things Grow's staff to keep my child safe. It is a fully accredited childcare facility, which means they meet accreditation standards of excellence, which are over and above the provincial licensing regulations and family day home standards. Licensed facilities have standards for staff education and ratio rules for staff:child (depending on age). Further, these facilities are inspected regularly in order to maintain accreditation. I have never once doubted their care and concern over giving my son and his peers a safe and healthy environment in which to thrive.
3. Noise - Yes, children make noise. Some may enjoy the sounds of children playing, and others are entitled to disagree. Due to ratios and licensing requirements, however, there is never an abundance of children in one yard area at a time. This counteracts the concern that 50 children playing will cause life in the neighborhood to become untenable. In addition, the facility only operates during regular business hours and is closed on weekends and statutory holidays, meaning any increase in noise would be limited to daytime hours and well within the bounds of municipal noise laws.
4. Property value - When we moved to Lethbridge in 2016, access to an accredited childcare facility was paramount in our decision of where to buy a home. I researched childcare facilities and we ended up buying a home within walking distance of Where the Wild Things Grow. It is my belief that this accessibility will be desirable to other young families, meaning the new facility will be an additional incentive for some buyers, rather than a deterrent. Further, the property is well maintained and attractive.
5. Value to community - Currently in Alberta, there are licensed childcare spaces for only 15% of children. In addition, 70% of mothers (myself included) work, meaning many children are in unlicensed facilities. The westside currently has very few licensed childcare facilities, meaning the addition of such a high quality facility would be beneficial to families and the community of West Lethbridge.

Warm Regards,

Shareen Price

3201 6 Avenue South

Lethbridge, AB

From: Sue P

Sent: June 18, 2019 9:17 AM

Subject: daycare on McMaster and Temple

I would like to express my displeasure and worry at the development of a daycare at McMaster and Temple.

1. That corner is a very unsafe corner as it is. There is a marked crosswalk there for people to gain easy access to the park across the street and cars often breeze right through the walk even if the light is flashing. There has been a need for a traffic light there for some time.
2. The traffic on McMaster and Temple has become very heavy since the new subdivisions to the West have been built and the development of the strip mall on Temple and Columbia. Just getting from my street onto Temple takes much more time these days and getting onto McMaster takes considerable time especially at the peak times in the early morning and after school to off work time. People used to go right and over to University Drive to cut the time down when going left seemed to take forever, but with a day home there it will not be as safe to make a turn to the right with all the extra cars parking (vision cut down) and all the people trying to cross the street. Also University Drive is extra busy now too.
3. Saint Martha School were smart enough to see the extra loaded traffic situation and built a turn out to ease the situation. This is just another clue that the traffic situation on McMaster is a problem.
4. Children walking down that street to school are also at risk from people driving in a hurry because of the extra congestion.
5. Day home children are young and should not be put in situations of heavy traffic where they may run out to meet a parent or lose contact with a parent who is managing another child who has lost contact or needs put into a car seat. Remember these children are often still tired in the morning at drop off and tired at the end of the day. I taught children for years and understand the situation.

I strongly urge the city to assess the situation more carefully and stop this from going forward.

Thank you for listening to me.

Sue Pasztor

122 Eton Road West




Virus-free. www.avg.com

From: Yvonne Gilker
Sent: June 16, 2019 7:32 PM

Subject: notice of hearing...McMaster and Temple Blvd.

I am against increasing traffic on McMaster through the week. I drive this road Monday to Friday to work downtown. There are 3 elementary schools in this immediate area, with, of course, reduced speed limits, to 30 km. (Think impatient people rushing to work). Children cross at Temple, either walking or on bicycles, as well as university students crossing to make their way to the U of Lethbridge through Nicholas Sheran Park. Around 8 am there is a lot of traffic as well as school buses and a numbers of vehicles turning in different directions, on all streets in the area, as they drop off children at various schools and make their way to work. Those turning left for example at Temple, where there is a crosswalk from west to east, are often passed on the right by other traffic continuing north to Whoop-Up. So, to have a large number of additional vehicles supposedly parking along Nicholas Sheran Park, on McMaster, and crossing with their toddlers, (trust me I am a mother, little children often protest, struggle and throw themselves on the ground), along with their daily supplies, for a proposed daycare, increases impatience to drivers and endangers people crossing, as drivers cannot pass those turning left if there are going to be vehicles parked or parking there, with people trying to exit those vehicles with toddlers and infants in all weather. This is simply crazy and very risky for everyone.

Sincerely,
Yvonne Penn
Simon Fraser Blvd.

 Virus-free. www.avg.com

From: Thane

Sent: June 16, 2019 6:48 PM

Subject: Amended letter concerning proposed Daycare

Hello,

My name is Thane Vanderaegen, and I am a resident of 46 Temple Blvd. I have become aware of a decision by the Municipal Planning Commission to allow for the operation of a 50 space daycare on the corner of Temple and McMaster Blvd. I ask that the decision be rescinded as I see 3 different groups of people being affected in a negative manner. This would be residents of the area, commuters and proposed daycare clientele.

Over the last couple of years, traffic in this area has become much akin to Lemmings jumping from a cliff, in a large part created with the opening of Metis Trail. This analogy is not made lightly, as trying to race through the intersection when entering northbound McMaster from Temple Blvd, or turning onto Temple from the south end of McMaster is a very common occurrence with frustration and near-misses being the norm, for vehicles AND pedestrians. It is really something to witness. This occurs year round and is especially dangerous during "rush hour" from approx 7:30 A.M -9:00 A.M. and 4:30P.M.-6:30P.M (drop-off and pick-up times for the daycare). University of Lethbridge traffic adds to this, with a large number of students living in the area.

Numerous times I have witnessed near-collisions due to the increased traffic flow, and cannot believe the City has not done a traffic flow analysis because of such.

Increased parking and pedestrian traffic brought in by the proposed daycare in this area will do nothing but lead to increased vehicular and pedestrian incidents, with the injury or death of a child being the result. The location of the daycare places the children, providers and general public at great risk.

I am asking the Subdivision and Development Appeal Board to reverse the Municipal Planning Commission decision to allow for the opening of a daycare at the intersection of McMaster and Temple now before innocent lives are changed forever.

Respectfully

Thane Vanderaegen

46 Temple Blvd.W

Lethbridge

Get [Outlook for Android](#)

DATE: June 15, 2019

Dear Subdivision and Development Appeal Board (City of Lethbridge):

RE: 250 McMaster Boulevard – Daycare for 50 Children/9 Staff
Request for Appeal of Decision – Development Permit #11073

I am aware of the application to allow the above noted residential property to be used as a daycare for up to fifty (50) children and nine (9) staff members. I also understand that although this house has **insufficient parking space** to accommodate up 100 vehicle visits each day (50 x 2 visits each), a waiver of five (5) parking stalls has been granted.

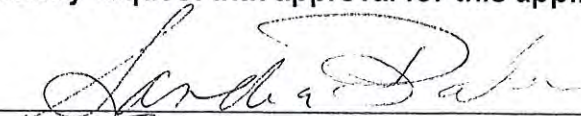
* This property is situated on a corner lot of a very busy intersection. It experiences heavy traffic volumes at the same times of the day when parents would also be trying to drop off and pick up their young child.

Vehicles approaching from the north are accelerating because they have just left the school zone of The Children of St. Martha's Elementary School. Parents will not be able to park directly in front of the house because there is a "no stopping" sign. Instead, they will have to park elsewhere in this residential neighbourhood.

Vehicles approaching from either the south or west will have moments of hesitation and uncertainty about where to turn and where to park, creating a hazard to all traffic on Temple Boulevard and McMaster Boulevard.

Asking parents to park along the curb of Nicholas Sheran Park creates a dangerous jay-walking situation for parents and their children and should not even be considered an option.

I/we respectfully request that approval for this application be withdrawn.

Signed: 

Signed: 

Address: 91 Temple Cres W T1K 4T3

* Between 8am and 9am and 4pm to 6pm it is already very difficult to turn from Temple Blvd on to McMaster. This daycare would only

From: rameyer@telus.net
Sent: June 16, 2019 7:49 AM

Subject: mcmaster and temple blvd corner

when was the last time the city looked at the traffic on temple blvd
metis trail has caused temple to become a disaster
cars trying to turn from temple onto north McMaster are backing up
cars trying to turn west onto temple from McMaster are backing up

to allow 9 full time parking spots and another 50 coming and going spells disaster
it's not the accidents I see coming that concern me, it's the first
person that ends up in the hospital due to the traffic build up and reduction in space
and viewing

rick meyer
121 temple blvd w

This email has been checked for viruses by AVG.
<https://www.avg.com>

19 Temple Crescent West

Lethbridge, Alberta

June 15, 2019.

Mr. David Sarsfield

Board Secretary,

Subdivision and Development Appeal Board,

City of Lethbridge.

Dear Mr. Sarsfield;

Reference: Appeal of Permission to Establish a Day Care Centre at 250 McMaster Boulevard

It is with great concern that I write and submit this letter on behalf of my husband and myself, Tom and Jean Walton, to request a reconsideration by the City of Lethbridge on the decision to grant permission of a non-resident owner to operate a Day Care Centre at 250 McMaster Boulevard.

Following the meeting, of May 7th, 2019, at which permission for this Day Care Centre was granted, my husband and I felt that not enough serious appreciation nor understanding of the amount of traffic that surrounds this corner where the proposed Day Care Centre will be located has been considered. At the very times of proposed drop off and pick up of very young children, this corner becomes extremely congested. From all directions, vehicles are travelling at the speed limit of 50 km/hr as they enter this corner and many vehicles either exceed the speed limit or easily become distracted as they carry people to and from work and school. Vehicles are turning left from Temple Blvd onto McMaster Blvd; left from McMaster Blvd onto Temple Blvd.; right from McMaster Blvd onto Temple Blvd; and vehicles navigating straight through the intersection on McMaster. Adding vehicles to curbside parking for pick up and dropping off will only serve to add further congestion to an already congested corner and present a serious safety issue for pedestrians, parents, children, and vehicles.

It was mentioned during the Hearing of May 7th, 2019, that neither McMaster Blvd nor Temple Blvd were at capacity for vehicular traffic. I couldn't help but wonder what the capacity of these two connector roads had anything to do with the congestion that exists at the corner in question or the safety of the families that will be using this corner location. It is simply a very

busy corner – especially during the times of 7:15 – 9:00 am, the noon hour, and then 3:15 – 5:30 pm during the week.

The proposed waiver of the mandatory parking spaces from nine to five is further issue for concern. The alternate parking across the street to the curb along Nicholas Sheran Park just exacerbates the safety concerns for very young children. It is true that there is a pedestrian crossing at the far corner, but as someone who is all too aware of drop off and pick up areas in front of schools and day care centres, I can attest that if any distance exists between the parked car and the corner – most will simply cross in the most expedient way. Furthermore, the parked cars dropping children off or picking them up along Nicholas Sheran Park, may require the passenger door on the roadside to be opened into the traffic – further putting people at risk.

Another issue is the location of the proposed four parking spaces in the drive-way. It will not be a safe nor easy exit for any vehicle trying to back up onto McMaster and again such attempts will only add to the congestion at this corner. One only has to ask anyone who lives on McMaster that during peak periods in the day, it is almost impossible to back up. Similarly adding a drop-off pick-up area along Temple Blvd just around the corner from the McMaster intersection will only serve to back up existing traffic along McMaster who are trying to turn right or left onto Temple Blvd. Similar to the curbside parking adjacent to Nicholas Sheran Park and the potential for doors being open on the traffic side, the proposed loading area on Temple Blvd presents the same situation. Vehicles turning west onto Temple Blvd will quickly come into contact with the loading zone – an accident waiting to happen.

During the hearing of May 7th, 2019 two specific Day Care Centres were mentioned that exist on the westside as comparisons and justification that this site could work. The two daycare centres referenced are the Aslan Day Care Centre on the corner of Jerry Potts Blvd and Red Crow Blvd and the other being the Royal Axa Day Care on the corner of Mt. Blakiston Road and Mt. Backus Crescent. It seems important to note that both of these centres have much larger and more distinctive designated parking plus a non-connector road for access. Despite its larger on-site parking area and a traffic light at its location, the Aslan Day Care Centre does present safety issues to drivers who enter this intersection at the drop-off and pick-up times but as mentioned it does have the less travelled Red Crow Blvd for safer access and departure. The proposed site at the corner of McMaster Boulevard and Temple Boulevard, by the Council Committee's own admission, is the junction of two major connector roads with no other access by a non-feeder road.

Whereas our major concern for requesting an appeal of this decision to grant this application is for the safety conditions that will be jeopardized by the existence of a Day Care Centre at this location, it is also worth mentioning that the noise factor of such a centre also give us pause. It is unbelievable to think that a mere 7.5-foot lane behind our homes provides much of a sound barrier as was suggested by the City's Senior Development Officer and there are several homes that do not have even the lane buffer, such as it is. The applicants mention that not all 50 children will be outside at one time, rather they will be outside in smaller groups. This would

then equate to several times during an outside day (morning and afternoon) that children will be playing and creating a noise factor. The existence of Children of St. Martha's School already provides a noise factor during the school year. But these periods are 15-20 minutes in length – three times during the day. With the existence of the Day Care Centre our neighbourhood will be further surrounded by the noise of children playing.

Upon the completion of the Hearing on May 7th, to consider this application, many of us in attendance felt that the decision to grant this application was a fore-gone conclusion: that our concerns as existing and long-time residents of this neighbourhood were not given due course. The facts that need and require careful and thoughtful considerations are:

- the fact that McMaster Blvd and Temple Blvd are busy connector roadways that converge at a very busy and congested T-junction – the very corner that a Day Care Centre of potentially 50 little people would be utilizing;
- the fact that there will not be adequate nor safe parking spaces at this corner;
- the fact that parents with little unpredictable children will be expected to park on the busy roadways of McMaster Blvd and cross over to gain access to the Day Care Centre;
- the fact that McMaster Blvd is a designated Snow Route that would further impact proposed parking along the curbside of Nicholas Sheran Park;
- the fact that a Day Care Centre of 50 little people will impact the enjoyment of our own backyard spaces.

In conclusion, my husband and I can only hope that this appeal process will be taken seriously and that our concerns and those of our neighbours will be considered with great thought and fore-sight. There are many locations that would lend themselves well for a Day Care Centre but the convergence of the two main and busy roads of McMaster and Temple Blvd West is not even close to being ideal nor safe.

At this time, we would like to thank you for your service to the citizens of Lethbridge and in advance we trust that you take the appropriate action of rescinding the approval of a Day Care Centre at 250 McMaster Boulevard.

Most Sincerely;

Mrs. Jean Walton

waltt7@telus.net

403-331-5666

May 2, 2019

This letter is to address each of the concerns posed by neighbours surrounding the new location of Where the Wild Things Grow Daycare Centre directly across from Nicholas Sheran Park.

As far as parking, traffic, and business is concerned, I am glad to be witness to the fact that there has not been any overwhelming instance during drop off or pick up times. The distances between families' homes, parents' works, and the daycare centre stagger, as do the drop off and pick up times of the children. Some parents need to drop off earlier because they work farther away, and some may drop off later because they live farther away. Some parents work 8am-4pm, and others work 9am-5pm. Thankfully, this neighbourhood is already one designed for families with the elementary school, recreation centre, swimming pool, lake, and playgrounds; and when time allows, several parents (myself included) walk their children to daycare to promote and encourage a healthy and active lifestyle.

The business is not like that of a shopping centre; it is closer related to a community centre which is designed to support the drop off and pick up times for children and families to get the most out of drop-in and registered programs. The vehicles come and go from the parking lot with the flow of any other home in the neighbourhood supported by working adults heading out for the day.

I am also impressed with the subtlety of the daycare centre because the directors and staff are meticulous about storing outdoor toys (when not in use) conveniently in a shed and keeping the property well-manicured that the daycare centre maintains a home-feel that makes it hardly recognizable from the exterior of the house.

To address the concern of increased noise pollution and decreased peace and quiet, I can confirm as a person living near the daycare centre and a parent who walks to pick up my child at inconsistent times, that there is not much noise from the relatively small number of the children playing outside at a time - closely supervised in safe and cooperative play and individual activity - in the fenced yard of the child care centre. There is more likely to be "unneeded noise" from children freely enjoying life outdoors at the Gyro Spray-Ground Spray Park located on the South side of Nicholas Sheran Lake, the elementary school conveniently located right beside the Nicholas Sheran City Recreation Centre and family-oriented swimming pool, and the multitude of quality playgrounds at the school, community centre, and lake nearby the daycare centre. The peace and quiet is not affected drastically at all by the children playing and laughing outside.

When put into perspective of what we want the next generation to value, imaginative play, appreciation of nature, and enjoyment of fitness should be taught at a young age to sustain early childhood development in the age of technology. Outside time is time for fresh air, sunshine, physical activity, and to hand down the value of being outdoors to the next generation. The staff at this daycare centre are notable for their dedication to keeping peace and quiet in the environment out of compassion for the other children, staff, parents, and neighbours. The staff do not allow excessive, unruly yelling or screaming. I know because I am witness to the positive, effective, correction even my child has been known to need when excited about something.

The argument of property value decreasing is interestingly inaccurate. As a parent of a preschool aged child, I have not always had the fortune of living close to a daycare centre, as I do now. For my daughter's first 4 years of life, I had to go out of our way anywhere from 30 minutes to an hour and a half of commuting to drop her off at daycare before going to work and the same in reverse on route home. Now to have daycare in walking distance I can schedule longer hours earning income in correlation to less hours each weekday spent commuting. The suggestion that the property value in the area could be lowered is in direct contrast with the fact that the current economy makes a household rely on dual incomes. The property value is more likely to increase based on amenities in accordance to the need of both couples and single parents to work full time to comfortably afford living expenses. Consider who would be purchasing or renting in the neighbourhood across from an elementary school, recreation centre, swimming pool, spray park, lake, and several newer playgrounds – all within walking distance.

Thank you for reading and considering this letter of support for Where the Wild Things Grow,

Coral Wales

403-200-4343

May 1, 2019

Dear Lethbridge City Council,

I am writing this letter in support of Where the Wild Things Grow Early Learning Centre. I strongly encourage you to approve their application to open their second location at 250 McMaster Boulevard in West Lethbridge.

The need for qualified childcare in the city is high – we found our family on waiting lists and desperate to place our child with caregivers who were trustworthy and who had licensed, educated staff. We were extremely lucky to be afforded the opportunity to enrol her with Where the Wild Things Grow ELC, but I have heard first-hand experiences from other families who have needed to bounce from one location to another due to poor experiences or who have had to “make due” with under-qualified caregivers.

My child has been a student at the Where the Wild Things Grow ELC in South Lethbridge for nearly 5 years, even though we have always been residents of the west side. We very quickly came to respect the dedication and responsibility of each of their staff members, and admire the attention they pay to their position in the community.

I understand that some neighbours oppose the development. While their opinions are valid, in my experience, the concerns they have raised are wholly insufficient to deny a daycare centre at this very well-considered location, especially a centre with the reputation Where the Wild Things Grow ELC maintains. I would like address some of the concerns presented and share my family’s experiences.

1. Parking and traffic – I have dropped off and picked up my child at various times during the day, especially now that she attends kindergarten for the morning. Because each family’s drop-off and pick-up times vary, the increase in traffic and parking in the area will be very small and likely not noticeable. The proposed location has even more parking than the South Lethbridge location and we have never struggled with finding a spot to park. I would estimate that 99% of the traffic around the centre’s location is unrelated to the daycare.
2. Noise and ‘peace and quiet’ of the neighbourhood – Do happy children make noise? Yes. However, the staff at Where the Wild Things Grow do not leave children unattended to run wild and scream; they provide supervision while children play with each other and laugh and enjoy being children, and they engage them in how to enjoy time outside in the snow and during warm weather. The noise volume during outside play, which is restricted to typical working hours, has never bordered on ‘noise pollution’ levels. Having a family with young children living in the home would be comparable.
3. Property value and a business in a residential area – the outside of the centre will largely be indistinguishable from any other home in the neighbourhood. Without knowing that the South Lethbridge location is my child’s daycare, I would easily drive passed and fail to notice its purpose differed from a single-family home. There is no evidence to suggest that property values are lowered due to the presence of a daycare or dayhome.

Given that my daughter will be attending Grade 1 in the fall, we will soon be leaving Where the Wild Things Grow ELC. This is the only reason we would consider removing her from the centre where she has been loved and cared for during her entire pre-school life; it will be like moving away from part of our family. I urge you to approve the centre's application, not just because the owners and staff are wonderful people and dedicated childcare professionals, but because they make each child who has the opportunity to attend their program thrive and feel safe while they are away from their parents. A second location to offer their services to more families can only be to this community's advantage.

Sincerely,
Debra LeBlanc

To whom it may concern,

I am pleased to write this letter in support of the development of this West side location child care center. I live near this location and my son currently attends the South side location. I send him there specifically because the staffs at this center are well-educated, conscientious, kind, hard-working and ethical individuals that I trust with my child. At their current location, they take good care of the building and the yard (weeding, planting flowers, keeping lawn mowed etc) so it looks nice on both the inside and outside. Their outdoor play yards are kept neat and tidy with the toys put away and the equipment well-maintained. It could be argued that as a business they will keep their property looking better than an average neighbour would because the majority of people will not send their children to (and give their money to) a dilapidated, dirty looking building or yard. I send my child to a place that looks clean, well-kept, safe and appealing. Having business owners who care about their property will actually keep the property value and curb appeal up and keeps it safe for all clientele and neighbours.

Currently, when I drop off and pick up there is always a spot in the driveway because drop offs and picks ups appear to be quite staggered from what I have seen in my current experience at the existing Southside location. Staggered pick up and drop off means there shouldn't be a large increase in traffic at one time or another either. The daycare owners have also already taken into consideration these possible issues and concerns by having two RV spots on the property as well as, they have requested a 5 stall parking waiver for daycare staff to park across the street (beside the park). There is a pedestrian cross walk to walk across the street to the property. This would leave the driveway open for parents to park. Since there are no issues with parking or traffic at their current location I anticipate there being no problems at the West location either since they take the proper business preparations for this.

Due to ratios and licensing requirements there will never be an abundance of children outside in one yard area at a time so noise should not be a concern. Honestly, living near Nicholas Sheran Park you already have main road traffic and hear dogs barking, children playing and adults interacting from the park. Having a daycare here won't be much different than what we already hear in terms of noise. Some even say, "A child's laugh could simply be one of the most beautiful sounds in the world." I'm not a huge fan of dogs, but I'm not allowed to determine who buys the properties around my house based on whether or not they have dogs that I don't want to see or hear bark. I could also argue that motorcycles and vehicles that drive the main road near this location are "noise pollution." As well, in my opinion, if you don't like the sound of children and consider them "noise" then you probably shouldn't live near a public park either.

Currently in Alberta there are licensed spaces for 15% of children. While 70% of mothers are working (including myself), which means a huge number of children are in unlicensed spaces. The west side of Lethbridge has very few child care spaces compared to the rest of the city. The daycare and I as both a parent and a teacher in Lethbridge believe all children deserve an amazing safe environment. As a working parent it would be more convenient for me to have a west side location.

At the current location it still looks very "home-like" and not like a business. It really looks like a home with a well-maintained yard and play equipment along with a few extra parking spaces. This appeals to the children and parents coming there and means that if you have no need for the daycare you likely won't even notice it's there.

Sincerely,

Jessica Holmes (current client/parent and teacher)

June 18, 2019

Subdivision and Development Appeal Board
City of Lethbridge

Re: Notice to Neighbours - 250 McMaster Blvd. West - Establishment of Day Care

Letter of Support

Where the Wild Things Grow has been in our area for a number of years. We have noted none of the problems noted in the previous grievances. There has been no noted problems with traffic or noise. The staff have always been professional in dealing with us who have at times had to pick up our children from this daycare establishment. Granted we live several blocks away from the establishment we have noted no decrease in our property value because it is in our residential area. Traffic is also very busy at the intersection of 6th Avenue South and 28th Street South. No traffic problems have been noted even during high volume times.

Kind regards,
Dave and Becky Shirley

June 16, 2019

1247 7 Ave S
Lethbridge AB, T1J 1K6

To The Appeal Committee:

I am writing this to address the concerns of the neighbours opposing the daycare at 250 McMaster Blvd W. I have a unique perspective about living in an area with a daycare a few doors down from me in a residential area.

I live in the London Road area and there are three daycares very close to my home, as well as the Kinsmen public park and Fleetwood school. The only thing missing is that I do not live on a connector road, which shows I believe that a connector road is not a requirement, but a strong suggestion from the City that is not always heeded. 250 McMaster is a collector road, as is Temple Blvd. The daycares in my area are also not corner lots, again another suggestion that was taken from the City by the proprietors of 250. Where I live the former daycare was sandwiched into a small lot with no onsite parking. Parents dropped off their children and picked them up in a flash. This was the same for in the winter, despite what people are referencing as it taking longer in winter. Maybe this was the case in the past, but new car seats require children to NOT wear suits since they are a hindrance to safety. I never had to worry about parking in front of my home in the winter when I needed to plug my vehicle in. I would also like to mention that it is NOT a requirement of the City to provide a drop off spot for parents, the fact that 250 is going to put a drop off on the property is showing a conscious effort to negate safety and traffic concerns. Many families I have met have moved into my area because they have young families and the daycare is in walking distance of their homes and schools for their older children.

The noise is minimal from the backyard. Sure children cry sometimes, but it's not the overall emotion that you experience. It's usually a quiet hum of joy that you hear. In the winter the older children would shovel up and down the street for their neighbours as well. Ever since they have moved out of the neighbourhood the individuals that have moved in are less enjoyable. They have four vehicles so parking in front of my home is a treat. These neighbours also believe in summer parties on a Tuesday that go until 2am. I would never consider calling on the daycare for mischief, but had considered it several times for the new neighbours. The daycare a few doors down was a great, respectful, and welcoming neighbour and a testament to "you truly do not know what you got until it's gone".

For concerns about traffic, I do not understand how a business that will increase traffic by at

most one percent is an issue. McMaster can hold up to 15000 vehicles and it is currently at 9000. The issues about safety is one a daycare could address and be used to benefit the neighbourhood. Having staff park in the existing spaces along McMaster will slow traffic. Complaining that this will cause more of a hazard because people do not use common sense is a poor argument. There are poor drivers everywhere, based on this argument we would never be allowed to open any facility in which a driver with poor judgment could access. So nothing would open. The proposal for 250 is to utilize existing UNUSED parking along McMaster. The City traffic department suggested this as a way to slow traffic. I think it shows a complete lack of respect for the education and knowledge of Lethbridge traffic officials to suggest that a cursory google search by an individual will trump their decision and recommendation.

Complaints about this being a snow plow route are also absurd. If someone parks on the route, they get towed. If someone happens to park in front of a neighbour's house on a snow route day it's not an issue. Its one day. I have had neighbours' relatives park in front of my house for weeks while visiting. One day is not the end of the world. Living in a community means having to deal with inconveniences, and this is a minor one at best. And a bonus is that childcare centres are usually closed around the holidays, so more parking for your relatives, and if you're nice daycares sometimes let neighbours use their driveways when closed.

For concerns about children's safety on the sidewalk, daycare aged children are some of the most supervised children by staff and parents. The problems that exist will not be increased by a daycare, they already exist; a daycare sometimes offers solutions to these problems by just existing. By making this a business will cause people to take notice and the good drivers will take heed, poor drivers do not care regardless of what they are driving around and daycare will not cause them to cluster like moths to a flame.

I would also like to address that my house property values have steadily increased regardless of the daycare's presence or lack of it. The properties around it have also sold, perhaps to different prospective buyers, but they still have sold.

Children under the age of five are so often treated like pariah in the community, and it's sadder when you realize the first five years are the most crucial for development. We should want as a community to have children grow up in paradise and residential areas where they belong. Not in paved parking lots. I would like the committee to imagine their fondest childhood memories. I am guessing that they happened outside, in the grass and trees. Nicholas Sheran Park is one of the best parks in the City and not allowing children to access it with ease would be a great disservice to them.

Let's call a spade a spade, the issue comes down to is a NIMBY reaction to anything new. The same issues pop up no matter where you want to put a daycare. The complaints come piling in no matter how reasonable, but in a few months they die out. It's the case with every daycare, anywhere. If there was a true concern about safety and if the neighbours in this area put a

fraction of the energy into it, this corner would already be a leading issue in the City. But this is not the case, this corner is not notorious like some intersections such as the Nobleford Roundabout or the Jail Road corner. This corner has not been in the headlines as a very dangerous place and I do not recall very many major accidents happening at the corner with the increase in traffic. This tells me that this is not so treacherous as it is being painted to be, and I would think not since there are several schools around the intersection and a public park with a giant jungle gym for children.

There is precedents in The City for residential childcare. It is the most recommended by Early Childhood Educators and leading research universities as well. This side of the City is growing with young families, it is a commodity that is needed, especially with millennials now out numbering baby boomers. Baby boomers do not want this change because it does not benefit them in most cases, millennials need these changes because they are facing a work climate in which both parents need to work to support their families. Qualified, licensed, and accredited childcare is needed on the westside of the City where we are seeing the majority of growth.

Thank you for your time.

Sierra Frances

To the City of Lethbridge Subdivision and Development Appeal Board,

Please accept this submission in support of the MPC-approved application for a 50-child daycare at 250 McMaster Boulevard.

I believe the contents of the letter I submitted to the City's Municipal Planning Commission remains relevant and I respectfully request that it is considered in full by the SDAB.

In addition to my original submission to the MPC (for the application that was approved) I offer the following supplementary comments:

- While there may be some validity to the concerns and perceived negative impacts of the daycare that was approved and subsequently appealed, there is an equal or greater likelihood that the majority of the concerns/perceived impacts are simply attempts to have the original decision overturned out of the fear of change, and the phenomenon generally known as NIMBY (Not In My Back Yard), as the members of the Board are very likely aware.
- The suitability of the land use that is in question (that being a daycare) is worth clarifying, as it has been mischaracterized as a use that simply does not fit within the specific context of the neighbourhood in which it has been applied. Reference has been made to the long tenure of many nearby residents and the expectation that the neighbourhood just wouldn't have the voices, laughter (and yes, sometimes yelling, screaming and crying) of children permeating through the peace and quiet of the weekdays. As far as I understand, one of the most relevant considerations when weighing whether a discretionary use is suitable, is whether the real and perceived impacts of a proposed use can be reasonably managed by placing certain controls on a potential approval. By virtue of the fact that daycares can only have a maximum number of children based on available space per child, and each child can only be at a daycare for a specific maximum number of hours per day, and it is extremely uncommon to have a daycare open on a weekend, it would seem reasonable to assume that the potential impacts of a daycare are already managed to a fair extent due to the provincially mandated rules that are entirely focused on the wellbeing of the children who attend them. The additional rules the City has put in place for daycares that wish to operate in primarily residential neighbourhoods have surely been thought-through and are complementary to the provincial rules and regulations, and are no doubt sensitive to the fact that daycares are, by being listed as a discretionary but permissible use in residential areas, unlikely to be utterly and completely out of character with a residential area.

To avoid belabouring the point any further, I would urge the Board to respectfully disregard the assertion that the use itself is out of character with a residential neighbourhood, especially if a part of the argument is based on the tenure or average age of residents in the area. While it is unfortunate that the families who are most likely to make use of the daycare, that being families that live on the west side of Lethbridge, have not had the opportunity to age-in-place over many years, this cannot mean that their needs are less valid than those of longer-standing residents. The 2018 City Census shows that there are more than double the children between the ages of 1 and 5 that live within the immediate area than could fit within the 50 child maximum the daycare is able to accommodate (I would define close by as within a 5 minute drive, and for the

blocks immediately surrounding the proposed site, a 5 minute walk). Surely the fact that over 100 children of “daycare” age live within close proximity to the approved site should be a part of the discussion as much or more than any other demographic element. This is not accounting for the several hundred additional children that would be found just outside of the “close by” area.

- It has been made clear that there is some disagreement regarding the suitability of the site. It may be a fair question to ask of the appellants where, specifically, they believe is a suitable location for a daycare, if not this location (across from a very large park, at the corner of two collector roads that will easily manage the marginal increase in traffic flows during drop-off and pick-up times, with access to off and yes, on-street parking when necessary, like many, many other uses rely on regularly).
- It is worth highlighting that the daycare operators have had a successful and very well used and sought-after daycare operating in south Lethbridge for half a decade. Nothing speaks like experience and unfortunately the south location underwent the same level of scrutiny and distrust from neighbouring residents. Thankfully it has been incredibly successful despite the trials of the land use approvals process. I can only hope the same story awaits the west location.

Original letter submitted to the MPC in support of the application that was approved:

As a parent who is a proud and happy client of South Lethbridge Where the Wild Things Grow Early Learning Centre, I am writing to provide my support for the Centre’s application to open a westside location at 250 McMaster Boulevard.

In my time as a client of the Centre, I have witnessed a group of owners who care deeply about children, and are passionate and committed to providing high quality childcare for working parents. I understand there is an ongoing shortage of quality licensed childcare facilities not only in Lethbridge, but across the province. I also understand that West Lethbridge is now home to approximately half of the City’s residents, and it is forecasted that the balance of residents will tip towards West Lethbridge in the near future, and will continue to trend that way over the long term.

Having another safe, high quality childcare option for parents to take their children to in West Lethbridge is a win for the parents in need of such spaces, and a win for a city that is experiencing a shift in where the majority of growth and population is situated.

There is no denying that a daycare (like other permitted and discretionary uses) can have a variety of impacts on a neighbourhood. Some of these impacts may be in the form of increased traffic and a resultant need for parking. There may be the sounds of children playing and learning outside from time to time, and there might also be increased pedestrian traffic given that one of the City’s most well-established and well-used parks is directly across the street, in the case of this particular application.

However, I would offer that these impacts should be considered in context. Regarding traffic impacts, the location couldn’t be more ideal as it is situated on the corner of two collector roadways. This is helpful for two reasons. First, we know by virtue of the classification of the roadways that the increase in traffic will be at most, negligible, especially as compared to overall traffic flows on these roads. Second, being on a corner lot, the home at 250 McMaster Boulevard has approximately double the

adjacent on-street parking that a typical mid-block lot would. I would also point out that the increase in traffic will, if it is anything like the location on the South Side, be dispersed across an hour or more in the mornings (not all parents arrive at the same time) and in the afternoons (again, not all parents arrive at the same time). As a last bit of good news regarding this particular property, the driveway is quite large, and will likely accommodate the majority of the drop-off/pick-up traffic generated by the daycare.

There will also be staff that need to park during the day. This could at first seem problematic as on-street parking is generally to be reserved as community good, and not dedicated to one particular property. However, daycares are again ideal from that perspective as the times when the on-street parking will be least used, is during the day. Again, I would point to the south campus as an example of how this has not been an issue for the neighbourhood. Respectfully, given the operating hours of a daycare, in the unlikely event that an adjacent or area resident is unable to park on-street, directly in front of their own home, this does not constitute a parking issue, it constitutes a minor inconvenience at the most.

I have not read the submissions against the proposed daycare but I would guess that some of the other concerns/complaints are focused on matters such as property values and noise issues. Regarding property values, I would suggest that is incumbent on a complainant concerned about property values to provide evidence that a daycare has a measurable and defensibly causal negative impact on surrounding property values. I for one would be extremely surprised if there were any measurable negative impact on property values.

Regarding noise concerns, I would suggest that if the sounds of children playing, laughing, crying, and even possibly yelling from time to time, is a significant concern for somebody, then surely Nicholas Sheran park itself should be closed immediately. I state this in jest of course, however I do question the validity of a noise-based concern, especially due to the property's proximity to a very well-used park, and the more fundamental matter of residential neighbourhoods being full of children of all ages.

I do not mean to be insensitive to the concerns of those who have taken the time to provide submissions of complaint/objection against the daycare. Change is uncomfortable at the best of times and the development processes we are beholden to as per the MGA puts municipalities in a situation where it is sometimes difficult to allow a proposed discretionary use to prove that it can fit, and conversely it is very easy to raise red flags about all of the possible, potential, perceived negatives of a proposal. My hope is that while there may be some resistance to the daycare at this point, that it is given the opportunity to prove itself as a suitable and beneficial addition to the neighbourhood in which it is being proposed.

From a broader perspective, I believe Where the Wild Things Grow has already proven they are a responsible, successful and desirable part of the Lethbridge community, and I urge the Commission to approve the proposal for a west campus, a campus that would fill a well-documented need that will give parents peace of mind, and children a safe and happy place to be during the workday.

Thank you for your consideration of my submission.

Sincerely,

Spencer Croil

Subdivision and Development Appeal Board
City of Lethbridge 910-4 AVE South
Lethbridge, AB

We writing this letter in support of “Where the Wild Things Grow” West Side (250 McMaster Blvd W). The West side community continues to grow and that growth dictates the need for accredited Day Care Facilities. Parents living in this area of the city need to have options for safe responsible care of their children.

We currently have a child at the south side location “Where the Wild Things Grow”. We make the drive daily from the west side. We would like to share our experiences of the facility over the last 4 years.

- **Aesthetics of the Neighbourhood**- The south side site has always maintained the property and landscaping congruent with the surrounding neighbourhood.
- **Drop off and Pickup Zone**- In our experience the dropping off and the picking up of children does not happen in mass. Parents have very different work schedules and times of drop off and pickup are staggered. We have observed that parents respect the rules set out by the city regarding parking and pickup.
- **Traffic/Safety**- Traffic and safety are always a concern for parents. In our opinion, parents dropping off and picking up children would exercise whatever caution is necessary to ensure the safety of their children and themselves.

- **Noise-** There will be the noise of children playing. It is unlikely you will have 50 children making noise all day long. This daycare takes children, infant to 6 years, the younger children nap and in the summer they schedule regular buggy rides and excursion to the park near their current location. With the proposed sight at McMaster Blvd W the Daycare would be able access the children's playground at Nicholas Sheran Lake. Also of note- there will be no noise after 5:00 pm or on weekends or holidays.
- **Property Value-** We have no expertise in this area. Our only question would be, "are all the properties in this area kept at such standard that property value is not affected?" Perhaps someone wanting to locate to this area would do so because of access to daycare.
- It is our hope that the Subdivision and Development Appeal Board uphold the decision of the Municipal Planning Commission and allow the development to proceed.
- Larry and Barbara Marasco
- 6 Stoney Crescent West, Lethbridge

19 Temple Crescent West

Lethbridge, Alberta

June 15, 2019.

Mr. David Sarsfield
Board Secretary,
Subdivision and Development Appeal Board,
City of Lethbridge.

Dear Mr. Sarsfield;

Reference: Appeal of Permission to Establish a Day Care Centre at 250 McMaster Boulevard

It is with great concern that I write and submit this letter on behalf of my husband and myself, Tom and Jean Walton, to request a reconsideration by the City of Lethbridge on the decision to grant permission of a non-resident owner to operate a Day Care Centre at 250 McMaster Boulevard.

Following the meeting, of May 7th, 2019, at which permission for this Day Care Centre was granted, my husband and I felt that not enough serious appreciation nor understanding of the amount of traffic that surrounds this corner where the proposed Day Care Centre will be located has been considered. At the very times of proposed drop off and pick up of very young children, this corner becomes extremely congested. From all directions, vehicles are travelling at the speed limit of 50 km/hr as they enter this corner and many vehicles either exceed the speed limit or easily become distracted as they carry people to and from work and school. Vehicles are turning left from Temple Blvd onto McMaster Blvd; left from McMaster Blvd onto Temple Blvd.; right from McMaster Blvd onto Temple Blvd; and vehicles navigating straight through the intersection on McMaster. Adding vehicles to curbside parking for pick up and dropping off will only serve to add further congestion to an already congested corner and present a serious safety issue for pedestrians, parents, children, and vehicles.

It was mentioned during the Hearing of May 7th, 2019, that neither McMaster Blvd nor Temple Blvd were at capacity for vehicular traffic. I couldn't help but wonder what the capacity of these two connector/connector roads had anything to do with the congestion that exists at the corner in question nor the safety of the families that will be using this corner location. The

capacity figures given at the meeting of May 7th, refer to the total vehicular flow on a designated roadway in a given day – it does not necessarily refer to congestion during specific time periods. This junction of McMaster Blvd and Temple Blvd West is simply a very busy and congested corner – especially during the times of 7:15 – 9:00 am, the noon hour, and then 3:15 – 5:30 pm during the week.

Another decision made by the Municipal Planning Committee on May 7th, that caused concern and confusion to those residents in attendance regards the parking waiver granted the Day Care staff. Instead of the usual mandated parking policy which requires one on-site parking stall for each staff member (which would be nine stalls), the waiver now allows for five parking spaces across the street along the curbside of Nicholas Sheran Park plus two stalls on-site close to the garage doors. The remaining two spaces in the driveway are allotted as a loading zone for parents dropping off or picking up their children. Two designated spaces as a loading zone to service the vehicles required to transport up to 50 children seems rather ludicrous and totally inadequate. We also can not stress enough that this will not be a safe nor easy exit for any vehicle trying to back up onto McMaster during peak times and again such attempts will only add to the congestion at this corner. One only has to ask anyone who lives on McMaster that during peak periods in the day, it is almost impossible to back up. In addition, the Day Care is still short two parking spaces for the staff and the alternate parking across the street to the curb along Nicholas Sheran Park just exacerbates the safety concerns especially during the dark and icy winter months that we experience every year.

Whereas we have been reminded that parking on the street is a public right and it is true that there is a pedestrian crossing at the Temple Blvd side of the corner, should parents take leave and park on the curbside of Nicholas Sheran Park (following the example of the staff parking), this will require the passenger door on the roadside to be opened into the traffic – further putting people – parents and children - at risk. Similarly add the serious possibility that parents will use the area along Temple Blvd just around the corner from the McMaster intersection which will only serve to back up existing traffic along McMaster as drivers try to turn west onto Temple Blvd. Vehicles turning west onto Temple Blvd will quickly come into contact with an unsanctioned loading zone – an accident waiting to happen.

During the hearing of May 7th, 2019 two specific Day Care Centres were mentioned that exist on the westside as comparisons and justification that this site could work. The two daycare centres referenced are the Aslan Day Care Centre on the corner of Jerry Potts Blvd and Red Crow Blvd and the other being the Royal Axa Day Care on the corner of Mt. Blakiston Road and Mt Backus Crescent. It seems important to note that both of these centres have much larger and more distinctive designated parking plus a non-connector road for access. Despite its larger on-site parking area and a traffic light at its location, the Aslan Day Care Centre does present safety issues to drivers who enter this intersection at the drop-off and pick-up times but as mentioned it does have the less travelled Red Crow Blvd for safer access and departure. The proposed site at the corner of McMaster Boulevard and Temple Boulevard, by the Council

Committee's own admission, is the junction of two major connector/collector roads with no other access by a non-feeder road.

Whereas our major concern for requesting an appeal of this decision to grant this application is for the safety conditions that will be jeopardized by the existence of a Day Care Centre at this location, it is also worth mentioning that the noise factor of such a centre also give us pause. It is unbelievable to think that a mere 7.5-foot lane behind our homes provides much of a sound barrier as was suggested by the City's Senior Development Officer and there are several homes that do not have even the lane buffer, such as it is. The applicants mention that not all 50 children will be outside at one time, rather they will be outside in smaller groups. This would then equate to several times during an outside day (morning and afternoon) that children will be playing and creating a noise factor. The existence of Children of St. Martha's School already provides a noise factor during the school year. But these periods are 15-20 minutes in length – three times during the day. With the existence of the Day Care Centre our neighbourhood will be further surrounded by the noise of children playing.

Upon the completion of the Hearing on May 7th, to consider this application, many of us in attendance felt that the decision to grant this application was a fore-gone conclusion: that our concerns as existing and long-time residents of this neighbourhood were not given due course. The factors that need and require careful and thoughtful considerations are:

- the fact that McMaster Blvd and Temple Blvds are busy collector roadways that converge at a very busy and congested T-junction – the very corner that a Day Care Centre of potentially 50 little people would be utilizing;
- the fact that there will not be adequate nor safe parking spaces at this corner;
- the fact that parents with little unpredictable children will be expected to park on the busy roadways of McMaster Blvd or Temple Blvd and then cross over to gain access to the Day Care Centre;
- the fact that McMaster Blvd is a major roadway and a designated Snow Route that would further impact proposed parking along the curbside of Nicholas Sheran Park;
- the fact that a Day Care Centre of 50 little people will impact the enjoyment of our own backyard spaces.

In conclusion, my husband and I can only hope this appeal process will be taken seriously and that our concerns and those of our neighbours will be considered with great thought and foresight. The residents of this neighbourhood are not against Day Care Centres and understand the growing need for more such facilities. However, there are many locations that surely would lend themselves much better for a Day Care Centre rather than at the convergence of the two main and busy roads of McMaster and Temple Blvd West which is not even close to being ideal nor safe.

At this time, we would like to thank you for your service to the citizens of Lethbridge and in advance we trust that you take the appropriate action of rescinding the approval of a Day Care Centre at 250 McMaster Boulevard.

Most Sincerely;

Mrs. Jean Walton


waltt7@telus.net

403-331-5666

Lethbridge June 18, 2019

**To: David Sarsfield
Board Secretary, Subdivision and Development Appeal Board (City of
Lethbridge)**

**Re:
Development of a daycare for a maximum of 50 children and 9 staff members
at a private home at 250 McMaster Blvd W Lethbridge.**

We recognize the fact that there may be a need for daycare in the city and that there are people ready to meet the needs of parents. There are two things we would like to bring to the attention of the Board.

The day care in question is not a home based day care in an owner occupied home. The proposed day care is a business where up to 50 kids and 9 staff members will occupy a former private residence. By allowing such a business to take place in a low level residential area, you are in effect changing the zoning of the area and opening the door to other ventures.

This will affect more than a handful of residents immediately around the daycare. These people were not consulted or even notified. Residents feel that their quality of life is being eroded and the value of their property will decrease. To say otherwise is purely an opinion and not based on facts.

The two locations referred to by Ms. Olsen as being similar are in no way comparable to the one on McMaster Boulevard West, not in traffic and certainly not in parking. We cannot comprehend why the City even considered this intersection as suitable. When we look at the 2017 traffic survey we find that McMaster Boulevard is the busiest 2 opposing lanes road in Lethbridge at an average of 9000 cars per day. Anybody saying that traffic is not a problem, because McMaster can handle twice as much, has not been in the area for a while. Going from 9000 to 18000 cars is no big deal? I bet if you fit cars bumper to bumper you can have even more.

Anyone living on McMaster will attest to the difficulty and risk of backing out onto the boulevard. Many have tried backing into their driveway so they can drive out but even that is a problem for many. As a matter of fact many have been "fingered", honked at, just for slowing down to enter their driveway. We live on a corner and have a circular driveway but it does not matter if we enter one way or the other, we still get the same problems.

We have difficulty imagining parents coming from the north of the daycare turning into the drop off area and then backing across the sidewalk (which is used by kids

walking to St Martha School) into traffic at the end of the school zone where drivers are known to accelerate. As for the parents coming from the south, we cannot imagine them parking on the boulevard unloading the kids on the park side, and walking back to the crosswalk. For one thing there is no sidewalk and in winter that location is a snow route. If you can park, getting the kids out and walking back to the crosswalk would be difficult due to snow accumulation on the side of the road and on the park itself. Some may choose to make an illegal left turn into the drop zone or just jay walk across the boulevard. For anyone living in the area having a day care at that location is inappropriate and very dangerous.

The impact of the daycare at that particular location and the driveway drop off and loading zone is being assumed away. You will be putting at risk the security of both parents and children.

We wonder if the city is being proactive in new residential areas in the city when it comes to setting aside locations where this kind of daycare facility could take place. This would make things much simpler for the people willing to offer their service and eliminate the need to rezone designated residential areas. It would also avoid confrontation between decent, and well-meaning people on both sides.

Allowing such a day care at that location is a very bad idea. The application should be withdrawn. Help the proponents find a more suitable location.

Respectfully submitted

Laurent Conard _____

Helene Sauriol _____

June 19, 2019

City of Lethbridge
Subdivision and Development Appeal Board

Letter of Appeal

We would like it to be known that we wish to appeal your decision on letting a 50 space daycare open on the corner of McMaster and Temple Blvd.

The corner of McMaster and Temple Blvd over the years since the Chinook and Catholic High Schools opened has become increasingly busy with school buses, students in their own cars and parents driving the students to school. Anyone that is trying to make a left hand turn off Temple Blvd have to sit waiting patiently for ten minutes or more to be able to make a safe turn. Not everyone has all those extra minutes trying to get to work. Yes I know I could leave earlier BUT the corner is not safe, there is to much traffic along with pedestrian traffic. It is very frustrating at peak times 7:15 am to 9:00 am then again from 3:00 pm to 6:00 pm.

What really concerns me is when parents will be dropping or picking up their children parked along the street heading south and then around the the corner on Temple Blvd. All the extra vehicles there will make it more hazardous for us turning and it will be congested. This is one very busy THREE WAY CORNER with vehicle traffic but pedestrian traffic. We are in an area where we have a lot of university students living this is their main path to cross on the pedestrian walk to go through Nicholas Sheridan park to attend university. Plus we have two elementary schools within the block. From September to June this corner is busy with good conditions, but when winter comes it's a GONG SHOW, the corner is always ICY. Now not only do we have to contend with the traffic we have garbage and recyclables containers parked in front on the Blvd with the truck picking up at peak hours on Thursdays.

As a concern home owner at 117 Eton Road we feel this a wrong spot for a 50 space daycare unit. There are to many lives that are going to be put at risk on this corner. My husband and I both say "NO".

Sincerely,
Ralph and Elizabeth Bohnert
117 Eton Road
Lethbridge, AB.
T1K 4T9

Sent from my iPad

Re: DAYCARE APPLICATION FOR 250 MCMASTER BOULEVARD WEST

We applaud the entrepreneurial spirit of the applicants and it appears that their business model is a good one; it's just the wrong location.

The corner of McMaster and Temple Boulevard has always been far busier than the other intersections along McMaster and has now become one of the busiest intersections on the Westside with the opening of Metis Trail.

The City's preference for intersections on connector roads for these types of businesses must be overridden by the reality of traffic volumes at this particular intersection. The similar locations referred to by Ms Olsen on the corner of Jerry Potts and Redcrow, which already has traffic lights, and the one in Mountain Heights, are not comparable at all with regard to either traffic or parking and should not be persuasive.

We question the reliability and applicability of the Traffic Departments statistics related to the traffic volumes in this area which we understand date back to 2016. They do not take into consideration the specific circumstances at this intersection, given the "no parking" area in front of the Daycare, the proximity of the driveway/loading zone to the intersection, and the lack of a crosswalk on the north side of the intersection.

The requested 5 car parking waiver is problematic and apparently unprecedented. If these spots are taken up by the staff, the double driveway designated for loading will be inadequate and force parents to unload farther away. Although the reduced visibility resulting from cars parked on the east side of the street will be an issue, the main risk will be with loading and unloading children and moving them across the street. We submit that without a side walk on the park side of the street, it is fantasy to assume that busy parents will walk their children along the park to reach the controlled cross walk on McMaster, and then cross Temple Boulevard, especially in winter. As this is a snow route, the issue will be exacerbated when these parking spots are unavailable during plowing bans and once the snow has been piled along the roadway. These are some of the reasons why very few cars park on the park side of the street presently.

The impact of the driveway loading zone is being assumed away. Anyone living in that vicinity will attest to the difficulty of backing out onto McMaster. Although there is a solid line on McMaster, it is easy to foresee parents heading north and delaying traffic as they attempt to make an illegal left hand turn into the driveway/loading zone. In addition, it will be chaotic if parents attempt to back out and head north following a drop off or pickup. There simply is not sufficient parking in front of the location to deal with the staff parking and the loading/unloading process.

When these issues become a reality, there may be ways to resolve them by throwing cash at it, such as with increased traffic controls, but these costs are not necessary at this time and should not be precipitated by this approval.

Respectfully Submitted

Robert MacPhail

Date: June 19, 2019

Address: 535-28 Street South

Lethbridge, AB

Postal Code: T1J 3T1

To Whom It May Concern:

" We are neighbors of Where The Wild Things Grow Early Learning Centre Ltd South Location. The Centre does not bother us or interfere substantially with traffic. "

Additions:

We love children and are happy to have them next door.

Thanks,

Name: ~~Diana~~ Diana + Harry Lippert

Signature Diana Lippert P. Lippert

From David + LANA GREATORIX
246 McMASTER BLVD. W.

20 June 2019

Reference to 250 McMaster Blvd W.

Daycare maximum 50 children 9 staff
5 parking spaces

We feel we will be impacted by this as we live between St Martha's School with traffic lights also along road traffic stop sign for pedestrian crossing going to Nicholas Sheran Park. Our concern is McMaster Blvd high volume of traffic ongoing all day school buses businesses etc so having a day care will only add to the problem of traffic it will slow it down and be chaos especially early morning and evenings. At 250 McMaster Blvd W which is a corner lot between Temple Blvd is a major concern with traffic stopping to turn off will cause a backlog of traffic at peak times on McMaster Blvd W. So we have concerns for everyone's safety. We feel it is not the best place for a daycare and does not belong in the neighbourhood.

From

David + LANA GREATORIX
246 McMASTER BLVD W
LETHBRIDGE AB

35 Eton Road
Lethbridge, Alberta
T1K-4T9
June 15, 2019

City of Lethbridge
Subdivision and Development Appeal Board

Re: Development Permit DEV 11073
50 Space Daycare 250 McMaster Blvd

The granting of the above mentioned Child daycare facility is inappropriate and should be denied for the following reasons.

1. Nine (9) off- street parking spaces would be required for a development of this size. These requirements are established by planners for well thought out and, (I assume), valid reasons. MPC is planning on granting a waiver to five (5). This is a 44.4% decrease. I respectfully request a reason to the logic for such a drastic decrease.
2. McMaster is a very busy road especially from 7:30 am to 9am and 4:00 pm to 6pm. To exit a car on the drivers side on this road is dangerous especially in winter. If parents are expected to use the Nicholas Sheran side of the road this is more dangerous and inappropriate. There is no sidewalk to the pedestrian crosswalk and the same dangers exist. Because of no side walk the snow plows leave a huge drift there. Extra pressure on the crosswalk lights also backs up traffic.
3. The intersection at McMaster and Temple is extremely congested during peak times which are the same times as children will be dropped off and picked up. I understand City Planning has assured MPC that the traffic volume is well within limits. This may be from some ones desk. Further study should be done. Talk to any of the people who live here. Try to turn left off of MacMaster on to Temple during busy times. Most parents will turn on to Temple and park to let their children off for their safety. I assume after Metis Trail is extended this may alleviate some of the problems, however, when will that be?
4. I am not opposed to businesses in residential areas. My previous neighbor applied for and was granted a license to operate an upholstery business. It was totally appropriate. A day home for 6 or 7 children on our quiet cul-de-sac would be appropriate but a 50 child, 9 staff day home on a busy street is totally inappropriate. This is like a small school. I respectfully hope you decline this development or at least postpone it until further in depth study has been done. You need more up to date data and input from the city planners.

Respectfully



Harry T. Smith

Re: DAYCARE APPLICATION FOR 250 MCMASTER BOULEVARD WEST

We applaud the entrepreneurial spirit of the applicants and it appears that their business model is a good one; it's just the wrong location.

The corner of McMaster and Temple Boulevard has always been far busier than the other intersections along McMaster and has now become one of the busiest intersections on the Westside with the opening of Metis Trail.

The City's preference for intersections on connector roads for these types of businesses must be overridden by the reality of traffic volumes at this particular intersection. The similar locations referred to by Ms Olsen on the corner of Jerry Potts and Redcrow, which already has traffic lights, and the one in Mountain Heights, are not comparable at all with regard to either traffic or parking and should not be persuasive.

We question the reliability and applicability of the Traffic Departments statistics related to the traffic volumes in this area. They do not take into consideration the specific circumstances at this intersection, given the "no parking" area in front of the Daycare, the proximity of the driveway/loading zone to the intersection, and the lack of a crosswalk on the north side of the intersection.

The requested 7 car parking waiver is problematic and unprecedented. If these spots are taken up by the staff, the double driveway designated for loading will be inadequate and force parents to unload farther away. Although the reduced visibility resulting from cars parked on the east side of the street will be an issue, the main risk will be with loading and unloading children and moving them across the street. We submit that without a side walk on the park side of the street, it is fantasy to assume that busy parents will walk their children along the park to reach the controlled cross walk, cross McMaster at the controlled crosswalk, and then Temple Boulevard, especially in winter. As this is a snow route, the issue will be exacerbated when these parking spots are unavailable during plowing bans and once the snow has been piled along the roadway. These are some of the reasons why very few cars park on the park side of the street presently.

The impact of the driveway loading zone is being assumed away. Anyone living in that vicinity will attest to the difficulty of backing out onto McMaster. Although there is a solid line on McMaster, it is easy to foresee parents heading north delaying traffic as they attempt to make an illegal left hand turn into the driveway/loading zone. In addition, it will be chaotic if parents attempt to back out and head north following a drop off or pickup. There simply is not sufficient parking in front of the location to deal with the staff parking and the loading/unloading process.

When these issues become a reality, there may be ways to resolve them by throwing cash at it, such as with increased traffic controls, but these costs are not necessary at this time and should not be precipitated by this approval.

Respectfully Submitted

Robert MacPhail (403) 381-8206
74 Temple Crescent W.

DATE: June 15, 2019

Dear Subdivision and Development Appeal Board (City of Lethbridge):

**RE: 250 McMaster Boulevard – Daycare for 50 Children/9 Staff
Request for Appeal of Decision – Development Permit #11073**

I am aware of the application to allow the above noted residential property to be used as a daycare for up to fifty (50) children and nine (9) staff members. I also understand that although this house has **insufficient parking space** to accommodate up 100 vehicle visits each day (50 x 2 visits each), a waiver of five (5) parking stalls has been granted.

This property is situated on a corner lot of a very busy intersection. It experiences heavy traffic volumes at the same times of the day when parents would also be trying to drop off and pick up their young child.

Vehicles approaching from the north are accelerating because they have just left the school zone of The Children of St. Martha's Elementary School. Parents will not be able to park directly in front of the house because there is a "no stopping" sign. Instead, they will have to park elsewhere in this residential neighbourhood.

Vehicles approaching from either the south or west will have moments of hesitation and uncertainty about where to turn and where to park, creating a hazard to all traffic on Temple Boulevard and McMaster Boulevard.

Asking parents to park along the curb of Nicholas Sheran Park creates a dangerous jay-walking situation for parents and their children and should not even be considered an option.

I/we respectfully request that approval for this application be withdrawn.

Signed: Irene Filipchuk

Print: Irene Filipchuk

Address: 82 Temple Blvg

DATE: June 15, 2019

Dear Subdivision and Development Appeal Board (City of Lethbridge):

**RE: 250 McMaster Boulevard – Daycare for 50 Children/9 Staff
Request for Appeal of Decision – Development Permit #11073**

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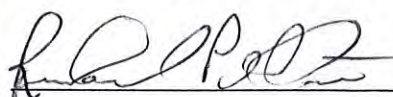
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I/we respectfully request that approval for this application be withdrawn.

Signed: 

Print

Signed: RICHARD PELTIER

Address: 47 TEMPLECREES WEST

DATE: June 15, 2019

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Request for Appeal of Decision – Development Permit #11073**

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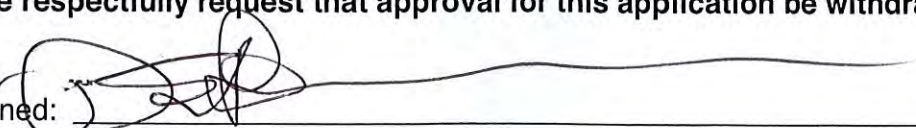
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Asking parents to park along the curb of Nicholas Sheran Park creates a dangerous jay-walking situation for parents and their children and should not even be considered an option.

I/we respectfully request that approval for this application be withdrawn.

Signed: 

Print

Signed: DAVID E. BOURASSA

Address:

140 TEMPLE LANE W 1

DATE: June 16th, 2019

Dear Subdivision and Development Appeal Board (City of Lethbridge):

**RE: 250 McMaster Boulevard – Daycare for 50 Children/9 Staff
Request for Appeal of Decision – Development Permit #11073**

I am aware of the application to allow the above noted residential property to be used as a daycare for up to fifty (50) children and nine (9) staff members. I also understand that although this house has **insufficient parking space** to accommodate up 100 vehicle visits each day (50 x 2 visits each), a waiver of five (5) parking stalls has been granted.

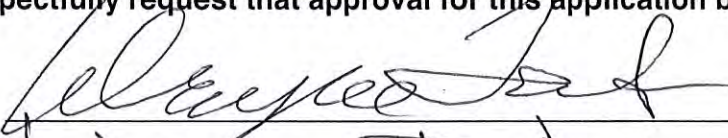
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Vehicles approaching from either the south or west will have moments of hesitation and uncertainty about where to turn and where to park, creating a hazard to all traffic on Temple Boulevard and McMaster Boulevard.

Asking parents to park along the curb of Nicholas Sheran Park creates a dangerous jay-walking situation for parents and their children and should not even be considered an option.

I/we respectfully request that approval for this application be withdrawn.

Signed: 
Print Signed: Wayne Tate
Address: 286 McMaster Blvd.

DATE: June 16, 2019

Dear Subdivision and Development Appeal Board (City of Lethbridge):

**RE: 250 McMaster Boulevard – Daycare for 50 Children/9 Staff
Request for Appeal of Decision – Development Permit #11073**

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I/we respectfully request that approval for this application be withdrawn.

Signed: P. Tyrrell

Print: Patti Tyrrell

Address: 31 Eton Rd. W.

DATE: June 16, 2019

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Asking parents to park along the curb of Nicholas Sheran Park creates a dangerous jay-walking situation for parents and their children and should not even be considered an option.

I/we respectfully request that approval for this application be withdrawn.

Signed:  _____

Print Signed: PAUL TYRRELL _____

Address: 31 ETON RD. W _____

From: Erin Vogt
Sent: June 19, 2019 8:00 AM
To: Rita
Subject: Another neighbour's letter

☑Dear Mr. Sarsfield,

First of all, I am not opposed to a Daycare as I believe they are needed and I believe in supporting people who are trying to provide. I have lived here for three years now and I can't believe that the City of Lethbridge has approved a Daycare to open at the corner of Eton and Temple that will allow 50 children to be looked after by 9 staff members.

The area is already congested enough and at times you can be waiting for 10 minutes or more to turn at that corner. There are several schools in the district that will be impacted as young children have to walk to school as well as people going to work. There is not enough parking for parents to be dropping off and picking up their children let alone parking for the staff. I come from North Bay, Ontario and my niece wanted to open a Daycare on a less congested area but it was not allowed as there happened to be a school close by and she had to find a location that would provide sufficient parking for the safety of the children and staff.

It is our responsibility as a City to look out for the safety of everyone and I fear that if this Daycare is allowed it will compromise that safety. I hope you reconsider your decision for this to move forward.

Janice Jackson
105 Eton Rd W

--

Erin Vogt, BSW
[587.220.2268](tel:587.220.2268) (m)



Virus-free. www.avg.com

From: Dennis Miller
Sent: June 18, 2019 10:06 PM
To: rita.law@telus.net
Subject: 250 McMaster Boulevard - Development Permit DEV 11073

Subdivision and Development Appeal Board

My wife and I have lived at 80 Cambridge Road since January of 1979, just over 40 years. We have driven by and continue to drive by the above noted location on a daily basis for the entire 40 years. We are against allowing the proposed daycare to be developed. McMaster Boulevard is a major artery on the west side. The recent connection of Temple Temple Boulevard to Metis Trail has greatly increased the traffic at the intersection of Temple and McMaster, especially in the morning during work commute time, which will conflict directly with child drop off. Allowing fewer than the minimum parking stalls and suggesting parents park across the street along the park is just wrong. What will happen is that parents and children will cross McMaster using the flashing cross walk. This will completely disrupt traffic flow on McMaster during the morning and evening commute. Then the next thing that the city will be forced to do is add traffic lights at the Temple / McMaster intersection which will forever ruin the traffic flow of McMaster. You have development rules for a reason, follow them and do not allow this daycare to proceed.

Vicky and Dennis Miller
80 Cambridge Road
Lethbridge



Virus-free. www.avg.com



SAFETY TALK



Backing Safety

The Ten Commandments of Backing

1. Back only when necessary.
2. Back the shortest distance possible.
3. Back in a straight line when possible.
4. Back sight side next.
5. Back blind side only as a last resort.
6. Back as slowly as possible. When in doubt, set brakes, get out, and look!
7. Use 4-ways (hazards) before backing.
8. Monitor both mirrors every 3 to 5 seconds.
9. Check all 6 clearances (front, rear, right side, left side, ground, and overhead), and know your vehicle.



By the numbers:

99% amount of time drivers operate a vehicle moving forward

25% of vehicle accidents occur while backing up

96% of backing fatalities involve children under 5

McMaster / Columbia

St Martha School



Google Earth

Image © 2018 Maxar Technologies

Image © 2018 DigitalGlobe

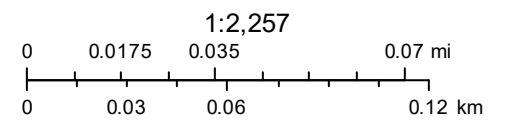
© 2018 Google

300 ft

McMaster



June 18, 2019



Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

From: Les Elford

Sent: June 19, 2019 11:30 AM

To: Rita.Law@telus.net

Subject: Day Care and intersection of Temple and McMaster Blvd W.

Attention Rita

Please be advised I do not agree with the proposed approval/ development of a 50 space day care centre located at 250 McMaster Boulevard W.

I have no specific issues with the development of new day care centres. However strongly believe the location of this new development is totally and completely inappropriate and irresponsible. An area already designated as commercial and not residential is more appropriate.

This is an exceptionally busy intersection. In particular; since the establishment of Metis Trail it has become even busier due to the fact Temple Blvd has become a connector road to Metis Trail. With the inception of Copperwood the schools, commercial development, ATB Centre all forms of traffic (vehicular, school bus, foot and bicycle traffic has increased significantly on Temple Blvd. McMaster Blvd has always been busy with the school and churches, and has very little parking if any available.

The City has been very efficient in ensuring traffic flow is well managed safely in new areas through traffic circles. There is a four way stop at Columbia and Temple Blvd. There is an exceptionally high need for a three way stop

at the intersection of Temple and McMaster Blvd W due to the high traffic flow.

The development of a 50 space day care will just increase traffic and parking problems in this already congested, busy area. This will increase safety issues for children, pedestrians and commuters.

This is the wrong location for a day care to be located.

Respectfully

Les Elford



Virus-free. www.avg.com

June 19, 2019

To Whom It May Concern:

This letter is in regards to my support of Where the Wild Things Grow Early Learning Centre Ltd., and their endeavours to create a new Daycare Centre on the Westside of Lethbridge. I have come to understand that the very idea of this new centre has some community members concerned, particularly in areas of increased traffic to the neighborhood, parking, and general safety. While I cannot speak personally about the westside neighborhood, I hope you will consider my personal experience with their southside location during your deliberations.

Full disclosure – I have taken my children to Where the Wild Things Grow southside centre for many years. My children love the staff dearly, and always come home with art, stories, and a happy heart. My oldest daughter, who is 4, tells me that her teachers (ex. Alicia and Patricia) are some of her best friends “at school”. My younger son, who is 17 months old, has only known this place outside of our home, and it is his home away from home. He is absolutely thriving and achieving all of his developmental milestones. He too is a happy child at the end of the day. This speaks volumes to me in terms of the quality of care and education they are both receiving.

Please consider my following observations and opinions.

- 1) Parking – I am similar to most people who use the southside facility in that I don't have a specific time I drop off my children. My children usually get to the Centre between 7:50AM and 8:45AM, depending on the day. There is no “classes starts at 8:30 sharp” type of rush, like in a typical grade school. This is similar to pick up times at the end of the day. There is no specific deadline for when a child must be dropped off or picked up. I feel that because of this, I rarely run into issues finding a parking spot in their limited parking spaces. Hence, I don't feel that there is any increased burden on the neighborhood in regards to parking concerns.
- 2) Street safety – the staff at the Where the Wild Things Grow southside facility have made it very clear that safety in the parking area is of utmost importance. All their play areas are fenced in. Whenever children are outside of these designated areas, they are holding hands forming a human chain, or being held directly by a staff member, or under the direct care of their parent. There are regular notices provided to parents about safety expectations for when we drive in and out of their facility. I don't expect this emphasis on parking lot safety to differ on any level at their new location. I feel the concerns the public have regarding children safety at the new location should be assuaged given this precedent.
- 3) I would like to make mention about the character of Where the Wild Things Grow staff. They have consistently demonstrated to me a high level of care for the well-being of a child both emotionally, educationally and physically, that is a sincere pleasure to see. Their professionalism in early childhood education raises the bar to a whole new level. On their website it states the Centre believes that strong bonds between the educator and the child are important. And I see those strong bonds clearly between them and my children, and with the other children. This high level of regard for children, both printed in their mandate and demonstrated daily, reflects how seriously they take children safety. Safety is top priority. Please let me be a character reference to this – based on what I have seen every time we go to the Where the Wild Things Grow, the public should not be concerned about the children's

safety. If the staff says the new centre will be safe, then it will be. Because the staff absolutely cares for their children.

- 4) Finally, I'd like to add my voice to the choir of the need for quality early childhood learning centres, or "daycares", such as Where the Wild Things Grow Ltd. Not just as a working mother, but as a practicing Family Physician who understands its impact on the overall growth and development of a child. I feel this Centre is among the leaders in what is becoming the standard for early learning. The Centre has regular learning goals that are 100% child directed. The Centre embraces the use of modern technology via the "Tadpoles" system as a way to easily communicate with parents about the specifics of what their child is learning with photos of them throughout the day. Lethbridge will be a better place for having another Where the Wild Things Daycare Early Learning Centre available for its children, who both need and deserve it.

Thank you kindly for considering my letter.

Sincerely,

JoAnna Fay
MD CCFP BScN BSc








SUNDAY 16 June 2019



SUNDAY 16 June 2019



SAFETY TALK



Backing Safety

The Ten Commandments of Backing

1. Back only when necessary.
2. Back the shortest distance possible.
3. Back in a straight line when possible.
4. Back sight side next.
5. Back blind side only as a last resort.
6. Back as slowly as possible. When in doubt, set brakes, get out, and look!
7. Use 4-ways (hazards) before backing.
8. Monitor both mirrors every 3 to 5 seconds.
9. Check all 6 clearances (front, rear, right side, left side, ground, and overhead), and know your vehicle.





SAFETY TALK





By the numbers:

99% amount of time drivers operate a vehicle moving forward

25% of vehicle accidents occur while backing up

96% of backing fatalities involve children under 5



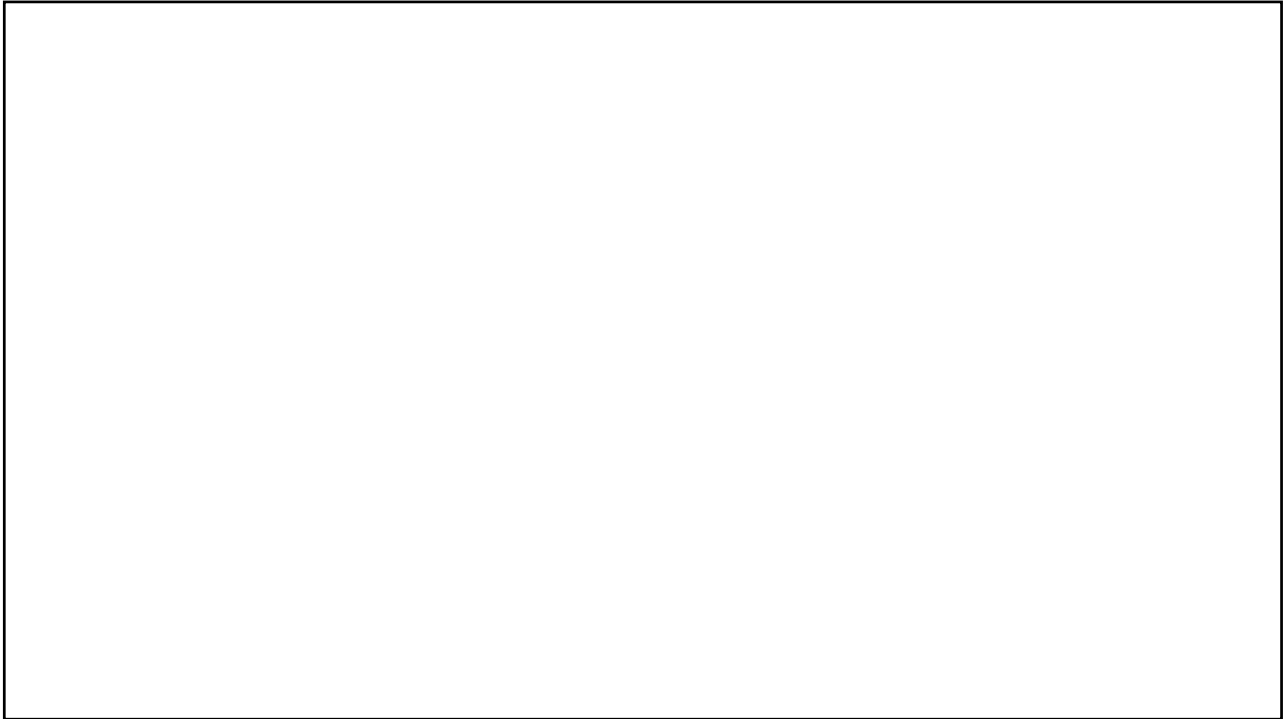
96% of backing fatalities involve children under 5



By the numbers:

Risk of Accident while Backing is: **1 / 15,000**

1 Accident every 30 Weeks or 8 Months







APPLICATION NO
DEV11073

LAND USE DISTRICT
R-L Low Density
Residential District

LOCATION
250 McMaster Boulevard W

APPELLANTS
Edward Grant

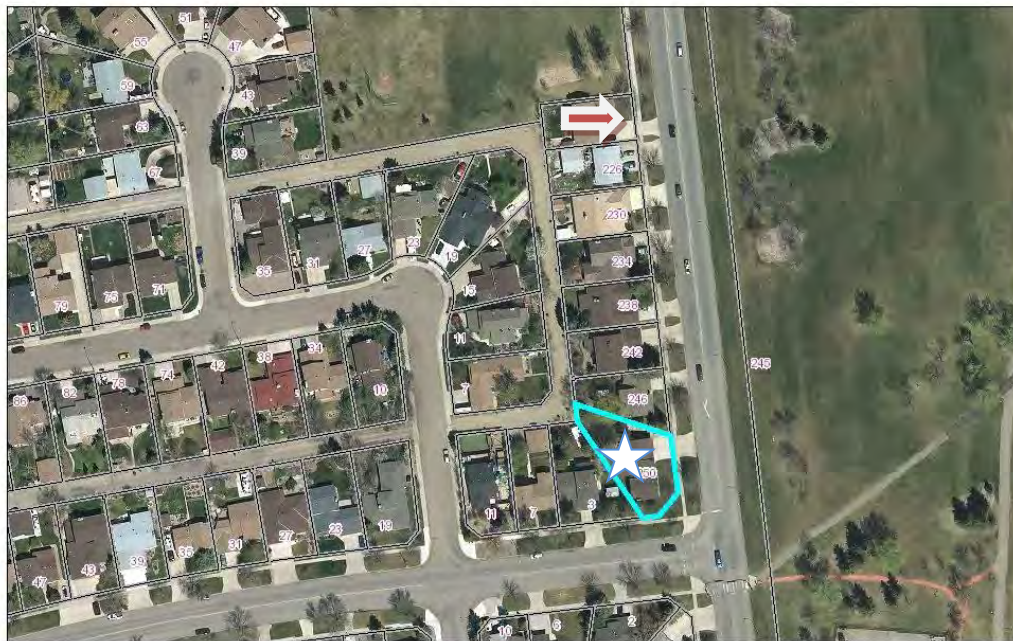


LANDOWNER/APPLICANTS
Eva Irwin



CONTEXT MAP

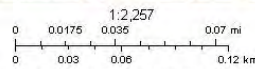
Parcel Locator WebMAP



June 3, 2019

Building Numbers

□ Parcels



Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

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LAND USE BYLAW SUMMARY

Use: Child Care, Minor

Discretionary

	Standard	Proposed	Waiver
Parking	1/employee	4	5

EVALUATION

<p>Background</p>	<p>On February 15, 2019 an application was received to establish a daycare for 50 children with 9 staff members.</p> <p>Letters were sent to neighbouring property owners within a 60m radius of the proposal. Because of the neighbourhood response the application was brought before the Municipal Planning Commission on May 7, 2019. The Municipal Planning Commission approved the daycare for a maximum of 50 children, 9 staff members and a 5 space parking waiver.</p> <p>Daycares have been an allowable land use in the R-L district since at least 1968.</p> <p>Child Care, Minor means: development providing provincially-approved care or education, without overnight accommodation, for more than 10 and no more than 50 children at one time. This term refers to uses such as day care centres, nursery schools, kindergartens and play schools.</p>
<p>Considerations</p>	<ul style="list-style-type: none"> • Societal changes – both parents need to work and child care help from family is not as common as it once was. • Child Care, Minor is a discretionary use in areas zoned R-L Low Density Residential. • When considering a discretionary use the development authority must evaluate the potential land use impacts of the use in the context of the neighbourhood for which it is proposed. The authority must decide whether any impacts would <u>unduly</u> interfere with amenities of the neighbourhood, or would <u>materially</u> interfere with or affect the use, enjoyment or value of neighbouring properties. • Potential land use impacts of the proposal are: <ul style="list-style-type: none"> • Increased traffic volume • Parking demands – from both staff and clientele • Decreased property values • Increased noise from children playing outdoors • With respect to the first three potential land use impacts this proposal does not present any undue interference with the neighbourhood amenity and would not materially interfere with or affect the use, enjoyment or value of neighbouring properties:

- Road Network and Traffic

- McMaster Boulevard is readily accessible from Whoop Up Drive, Columbia Boulevard, Metis Trail, Temple Boulevard and McGill Boulevard and the road network can handle the additional vehicle movements per day that the daycare will require. McMaster Blvd and Temple Blvd are both collector roadways.
- Vehicles will not arrive all at once. Arrival times will likely be staggered in the mornings for drop offs and in the afternoons for pick up.
- The 2017 traffic flow map shows 9000 vehicle movements per day and the road capacity is 15,000 vehicles per day on McMaster Blvd W. Temple has 3600 vehicle movements per day and the capacity on that is 8000 vehicle movements per day. Both roads are currently underutilized.
- In my opinion this increase in traffic volume does not present an appreciable increase in traffic noise level or an appreciable increased risk of vehicle or pedestrian accidents.

- Parking demands – from both staff and clientele

- Need – Land Use Bylaw states that the off-street parking requirement is one space per employee. They are providing four off street parking spaces, however there are nine employees therefore the parking waiver was granted for five spaces.
- While the Land Use Bylaw directs a development to have a required number of off-street parking spaces, it doesn't preclude the ability for off street spaces to be used for parent drop off and pick up if employees can be accommodated elsewhere or if employees don't require a parking stall.
- It was recommended by the Transportation Department that two of the off-street parking stalls be signed for parent drop off and pick up. This is not a requirement of the Land Use Bylaw that would trigger a further waiver to be granted by the Development Officer, simply a recommendation.
- Should the operators of the day care chose to direct parent drop off and pick up to the off-street parking stalls, there exists ample on-street parking available along both sides of McMaster Boulevard for employees. Should McMaster Boulevard not be available there is a public parking lot in Nicholas Sheran park that could also be utilized short term such as when snow plowing is required.

- Land Use Bylaw rules for loading and unloading spaces:
 - There also appears to be some confusion regarding the terminology in the Land Use Bylaw regarding loading and unloading spaces. There is a section for size requirements in the Land Use Bylaw for loading/unloading spaces, this is laid out in section 9.22.8. These size requirements are for Industrial, Commercial, Public Buildings and some Direct Control Districts as they have commercial/industrial sized vehicles that deliver or pick up products. The Land Use Bylaw does not have a requirement for loading/unloading spaces for child care, minor developments. The size of vehicles that parents will be driving to drop off and pick up children are the same size vehicles that would fit in a typical parking space.

- Decreased property values
 The City of Lethbridge Assessment department advises - Property influences are analyzed on an annual basis to determine their impact on value and we have seen no market evidence to prove a daycare would negatively impact property values.
 The properties immediately adjacent to Aslan Daycare, which is classified as “Child Care, Major” and accommodates up to 100 children, have not received a tax adjustment.

- Noise
 With respect to the last potential land use impact – increased noise from children playing outdoors, this proposal may interfere with or affect the enjoyment of neighbouring properties. However; there is a 7.5m lane that separates this parcel from the parcel to the west. The two parcels immediately adjacent to the subject parcel would have the most impact as they share parcel lines and the subject parcel narrows in the back and this is where the children will play.

- SDAB should also note:
 - The applicants hope to obtain provincial approval for 50 children with 9 staff members.
 - The children will not all be outdoors at once.
 - This is typically a scheduled activity for one or two groups at a time.
 - Children will not necessarily be outdoors all day long. Even in the nicest weather children need naps and to eat lunch.
 - Daycares are typically not open past 6:00 p.m. so this activity will not be taking place after 6:00 p.m. As *most* people (but not all) work during the day they enjoy their yards in the evenings so they will not be affected.
 - Daycares are not open on weekends or holidays.
 - The majority of daycares in the City are surrounded by residential neighbourhoods.

	<ul style="list-style-type: none"> • Daycares do not contradict the noise bylaw as they are strictly operated in the daytime and the noise bylaw only refers to noise in residential districts in the nighttime. Nighttime means the period beginning at 10:00 p.m. until 7:00 a.m. on weekdays and 10:00 p.m. until 9:00 a.m. on weekends. • There is an elementary school yard within 150m of this property. The children that go to the school are all out in the morning, recesses, lunch and the end of the day at the same time. There is also a blast program that operates out of this school for before and after school care. • Daycare providers have to be provincially licensed and have provincial regulations that they must also adhere to.
Legislation & Policy	<p>Land Use Bylaw 5700</p> <p>1.4 Definitions</p> <p>9.22 Parking requirements</p> <p>9.9 General Rules for All Districts – Child Care Facilities, Major & Minor</p> <p>14.1 General Rules for Residential Districts</p> <p>14.5 R-L Low Density Residential District</p>

CONCLUSION

This application was supported and approved by the Municipal Planning Commission for the following reasons:

- Child Care, Minor is an allowable use in the R-L District and has been since 1968.
- This proposal is for 50 children and 9 staff members.
- The daycare would not unduly interfere with amenities of the neighbourhood, or materially interfere with or affect the use, enjoyment or value of neighbouring properties.
- The existing driveway can only accommodate 4 vehicles so a waiver of 5 off street parking spaces were granted with a justification that there's sufficient parking along McMaster Boulevard as well as a public parking lot in Nicholas Sheran Park that could be used for short term parking.
- Good accessibility to the daycare via vehicular traffic and/or transit.
- Road network can handle the extra traffic.
- Parent pick up and drop off in the driveway have no impacts on the neighbours.
- The majority of daycares in the City of Lethbridge are located in residential neighbourhoods.

Daycare Proposal

250 McMaster Blvd W Lethbridge, AB



Why We Chose This Property

- ▶ There are many child care programs successfully operating throughout our city under child care minor. We operate one of these programs.
- ▶ We have extensively searched for over a year for properties. We consulted with the City's traffic department while looking at properties, they advised against a few before this one. Their feedback was if at all possible to choose a corner lot on a connector road with room for staff parking. This property is a corner lot on two connector roads. McMaster Blvd and Temple Blvd are designated as a "collector" road... this means that it acts to collect all of the traffic from the local streets and avenues within the neighbourhood. Collector roads are intended to service much higher volumes of traffic than local roads, and it is our opinion that the amount of traffic would have little impact on the functional traffic capacity of these roads.
- ▶ This property is located directly across from Nicholas Sheran Park. This gives us the ability to take children to the park frequently reducing backyard noise for neighbours. Having a park across the street also means less neighbours will be impacted than at another location since there are no houses across the street.
- ▶ This property is located within walking distance of two elementary schools: Nicholas Sheran and Children of St. Martha. There is a huge need in our city for Kindercare, as the majority of Kindergarten programs are half days Monday-Thursday. The BLAST program cut Kindercare programs at both of these schools. We are willing to walk children from these programs which will also cut down on the amount of traffic from drop offs.
- ▶ We didn't buy this property on a whim, it was a well-researched, well-thought out decision. We checked the property to ensure that all licensing spaces and requirements are able to be implemented before we made a decision as well. A lot of the complaints are towards the fact that McMaster is steadily getting busier as the west side develops. This is what the road was created for. This road is not anywhere near its capacity. We are adding a less than 1% increase to traffic.

In Lethbridge Most Child Care Programs are in Residential Areas.

- ▶ It is recommended that child care programs are placed in residential areas both for convenience for families, and because it creates a more familiar and comfortable environment for the children. It creates opportunities to go to nearby parks and be an active part of the community. Children should be treated like the valuable members of our community that they are, not an inconvenience.
- ▶ All our staff drive down 6 Avenue South every day and are not impacted by Narnia Childcare which is on a busier road.
- ▶ 21 (42%) of our current families live in West Lethbridge.

Traffic and Parking

- ▶ We originally had planned on putting all the staff parking on the property. However from neighbour feedback and City feedback we had changed our plan to utilize unused parking spaces across the street (east side of the street). The City also recommended that parents use our driveway for drop offs and pick-ups. There was never a mention for us to use the front of the property as parking (the west side of the street). The parking waiver was requested so staff and parents would not be parking in front of anyone's home, and the look of the neighbourhood will not be impacted. It also leaves space for parents to safely drop off on the driveway alleviating safety concerns.
- ▶ The parking waiver isn't creating parking spaces that didn't exist, it is using existing parking spaces that are largely unused. Our staff are more than capable of parking and walking to the pedestrian cross walk to cross the street safely. We are very willing to find solutions to problems that are brought forward, however it is difficult when even the solutions given by the City are being deemed as new problems by the neighbours.
- ▶ Neighbours have expressed concern about vehicles going too fast; parked cars will help slow them down.
- ▶ We encourage our staff to carpool and we carpool ourselves. Some staff also use public transportation or walk to work. At our current location we leave two staff parking spots open for extra drop off spots. This means if the other parent parking spots happen to be full at a busier drop off times parents don't park on the street.
- ▶ People assume that adding a child care program significantly increases traffic, but often parents like child care near their home or work, and are probably already travelling these roads to get to their destinations.
- ▶ Coming out of the driveway parents and staff will have to turn south, as there is a solid yellow line, and it is illegal to go north. This creates an easy merge into traffic. We counted traffic on June 18th from 7:30- 8:30 a.m. as neighbours claim it is crazy at that time, and found 165 vehicles heading south this is less than 3 cars per minutes. We feel very strongly with this little traffic parents can easily merge safely into traffic. We also observed the intersection there was a maximum of three vehicles turning from Temple to McMaster at once, most of the time only one or two vehicles. Wait times were very limited. We also observed at least 10 children safely cross at the pedestrian cross walk. Each time vehicles stopped very aware of the crosswalk.

The Importance of the Early Years

- ▶ Healthy child development has been identified by both the World Health Organization and the Public Health Agency of Canada as a powerful social determinant of lifelong health and well-being. The foundation of lifelong health is shaped from the earliest days of life. Early childhood is the period from conception to six years of age when significant development occurs across a range of skill areas including: physical (motor), speech and language, social and emotional, and cognitive and intellectual abilities. Brain architecture can change throughout life; however, in-utero and during the early childhood period, brains are the most sensitive to positive and negative experiences. *Lethbridge EDI Report (Early Development Instrument)*
- ▶ 28 local organizations teamed up to be a part of the initiative. Mayor Spearman signed the Play Charter on National Child Day signifying the City's commitment to healthy Early Childhood Spaces supporting children's rights to play.
- ▶ "Through unstructured play, children learn social skills and emotional regulation. These are the type of skills that help them to develop and be engaged, healthy citizens later down the road," said Lethbridge Early Years Coalition coordinator Vicki Hazelwood.

Quality Child Care is an Essential Part of our Community

- ▶ Having a child care program in the neighbourhood does add some traffic, but so do schools, colleges and universities, recreational centres, grocery stores, churches and many other essential services.
- ▶ Keira, Caitlin, and Eva live in Garry Station where a new seniors home is being built. It will definitely add some traffic, but the social benefits for seniors, and our community far outweigh the minor inconveniences.
- ▶ If parents do not have child care this can stop them from returning to work or force them into leaving their children in an unlicensed space that they are uncomfortable with.
- ▶ As Lethbridge grows so must the amount of childcare spaces. This also creates jobs in our community.

Having Licensed Space for only 15% of Children is a Serious Issue

- ▶ Licensed Child Care programs are monitored by Child Care Licensing, Alberta Health, Fire and Safety Inspectors, and most choose Child Care Accreditation. City Building Codes for a child care program also set an important standard for being both safe and barrier free such as wheelchair accessibility.
- ▶ Child Care Licensing ensures that minimum safety requirements and standards are being met. This includes examining child and staff interactions, staff qualifications (including Criminal Record Checks, First Aid, education levels), child to staff ratios and many other standards.
- ▶ Alberta Health Inspectors ensure that basic cleanliness and safety standards are being met.
- ▶ Fire Inspectors verify that all our emergency equipment is maintained, exits are clear, and emergency evacuation policies are in place.
- ▶ Accreditation is a voluntary process where the centre must prove that they are meeting best practice standards in Alberta. We are an Accredited Centre.
- ▶ These organizations are all extremely important in protecting young children and ensuring a safe, positive learning environment.
- ▶ Study after study is showing that the first 5 years are the most important in brain development, and the best indicator of future success. Quality Early Childhood settings are critical to ensuring best practice standards are being met. It is essential to protect the most vulnerable in our community.

Waiting Lists

- ▶ At this time we have over 30 children on our waiting list. This number does not include the families who call looking for care immediately.
- ▶ Most quality child care programs have extremely long waiting lists. We are full at our current centre and have to turn families away on a daily-weekly basis as we do not have immediate spots available. The families on our waiting list put their name on looking for care anywhere from a few months to a year away. Often we cannot accommodate a lot of these needs as we have no openings.
- ▶ We have infants on our waiting list for January of 2021. Parents call while still pregnant to ensure a spot. Infant care is by far the most lacking, as group sizes are required to be much smaller.

Qualified Staff

- ▶ We employ significantly more highly educated people than required.
- ▶ The government requires that only 1 in 3 primary staff be either a Child Development Worker or Supervisor (College Educated) and 2 in 3 can be a Child Development Assistant. This means we need 3/9 staff to be college educated, we have 8/9.
- ▶ We also have staff trained in Special Needs and a staff working on her Masters Degree in Psychology, and a nurse available to answer questions.
- ▶ Only 1 in 2 staff need First Aid according to regulations, we require all of our staff to have First Aid.

Neighbour Relations

- ▶ We have very positive relationships with our closest neighbours at our current centre, some who initially had issues with us opening. Our next door neighbour had the children over to pick apples and they were thrilled. These are the people who are most impacted by our presence, and they have completely changed their view. The children absolutely love our neighbours and so do we. Many neighbours have their friends park on our driveway on evenings and weekends. They also utilize it on Canada Day to keep their vehicles off the street preventing possible damage to them.
- ▶ If a neighbour expresses a reasonable concern we make every effort to address it immediately. For example: We got another garbage bin when the lid wouldn't close completely. This created a smell for the neighbours. We called the City for a second bin the day that they mentioned it to us. We also set up recycling to reduce our waste.
- ▶ We fully intend to have positive relationships in this neighbourhood as well, and have a positive impact on our community.

Property Maintenance

- ▶ We maintain our property and make improvements to make the property more appealing in the neighbourhood.
- ▶ We spent a significant amount of money to landscape our front yard, so it is more aesthetically appealing.
- ▶ We come in on weekends and holidays to ensure our sidewalk is shoveled.
- ▶ We have already replaced the roof of this property, and will continue to make improvements to keep it aesthetically pleasing.

Neighbours' Concerns

- ▶ Unfortunately no matter where you ask to put a daycare the same neighbour complaints come up. At our current centre the neighbours claimed us opening would cause accidents, cause traffic congestion, be incredibly loud, children running all over the busy street etc. 5 years later and there hasn't been a single accident or safety incident. Our closest neighbours say they often can't even hear the children in the backyard. They also say they enjoy having us as neighbours as we are gone evenings and weekends. Our other elderly next door neighbour comes out and chats to the children.
- ▶ Neighbour feedback was that paving the front yard would take away from the residential look of the neighbourhood. We took this into consideration and changed our parking plan.
- ▶ Daycares are unlikely to lower property values any more than a school would. Having a daycare in the area may change who wants to buy homes (young families instead of retirees), but there is no evidence to suggest lower property values)
- ▶ We previously mentioned only having two groups of children in the backyard at once. We would like to mention that having more children in the same space at once would violate Alberta Childcare Licensing Standards which we are governed by. Living next to a gorgeous park we will utilize it often. The amount of children outside would range from 8-18 depending on the age group.

Neighbours' Concerns

- ▶ As to the concern that people will drop off in front of the neighbour's house, it is our experience that parents much prefer to pull up on the driveway or beside the house. Very few parents will cross a busy street with an infant or toddler if they can drop off in the driveway. We ask our parents to park in our designated spots and enforce this. We address parents directly if they are parking in undesignated areas and also write up reminders about parking in our monthly newsletter if needed. We have a parent handbook and have rules for where we allow our families to park. If they will not follow our policy we can refuse care.
- ▶ Our neighbours stated that they bought a house on a quiet street. Purchasing a house on a collector road people have to expect to live with more traffic. This road isn't being overused now, it was being under used previously. As the west side expands for example with Metis Trail now connecting to Temple Blvd, collector roads are bound to get busier, as that is their purpose.
- ▶ It seems like many of the concerns posed regard current traffic issues rather than issues pertaining to use as a child care program. Parents of young children are often the most careful drivers as children are so vulnerable. If traffic in this area is an issue perhaps some form of traffic control would be useful such as a three way stop or a playground zone next to Nicholas Sheran. There is a pedestrian crosswalk with a light leading to Nicholas Sheran Park right at the intersection of the property which helps people to safely cross while accessing the park. McMaster Blvd has commercial properties on the street as well as a School it is well equipped to handle traffic.

Neighbours Concerns

- ▶ Concerns regarding parents jaywalking: In our experience, parents are overly cautious with their children. Parents are not going to risk running out into traffic when there is a pedestrian cross walk readily available steps away. We also enforce parking for our staff and parents in our handbooks and ensure they are using proper safety measures.
- ▶ We are also aware that neighbours are concerned with noise from our backyard. We are very willing to utilize the park across the street and have several of our own safety measures in place to maintain supervision and safety. We do not allow younger children to walk to the park, we use a six-seater buggy and always use the pedestrian cross walks. We find it very disheartening that neighbours do not like the idea of us using a public park and that we will ruin their experiences there. That is not our intent. Our intent is to provide children with an amazing experience in one of the City's greatest parks. It is a great disservice to them if we did not use this resource. Some neighbours have brought up a licensing regulation that a park needs to be fenced for us to use it, this is not the case. They are citing a regulation that references a daycare's own property being fenced, it is not applicable to public parks.
- ▶ We will not monopolize the play structure area as many of our children will be too young to use it. We never take all 50 children to the park as this would violate provincial regulations on maximum group size.
- ▶ Connector road parking happens on many streets in Lethbridge, Calgary, and most cities. It has been mentioned in several letters that a council member found a recommendation about not parking on connector roads on the internet. A council member doing a quick google search of connector road parking in Calgary does not supersede the education and expertise of the Traffic Department which is specific to Lethbridge. Using Wed MD does not make one a doctor. In any case, this does not pertain to the daycare being there, parking is allowed right now. We are just asking to use these existing parking spaces.

Neighbours' Support

- ▶ Many neighbours we spoke to were very supportive of a child care program opening in the area, and even offered to refer people. They mentioned it being a great neighbourhood with lots of young families and schools. Neighbours told us they hope we enjoy the house as much as the previous owners. Overall we got primarily positive comments. Often the neighbours in support do not attend these meetings, as they don't foresee it being an issue.
- ▶ We included a letter written by a senior in our community who was an instructor at the Lethbridge College for many years. It offers a different perspective. Not all people find the sound of children irritating. Children bring so much joy to a community, and many people love the sound of children playing and laughing.
- ▶ We hand delivered letters to all our closest neighbours inviting questions, but were not contacted by any personally.

Conclusion

- ▶ A few people may experience minor inconveniences, but for our City as a whole, every single licensed accredited child care space that opens is a huge win.
- ▶ This isn't just a business to us, it's a service our community desperately needs. We have a passion for working with young children and believe very strongly in what we do. Children are members of our community. Studies show that early childhood environments make a huge difference in children's lives both now and in the future. We strongly encourage you to support Early Childhood Education in our community.

Daycare Proposal

250 McMaster Blvd W Lethbridge, AB



Owners of Where The Wild Things Grow Operating for Over 5 Years

- ▶ Keira, Caitlin, and Julianne all have diplomas in Early Childhood Education. Eva, and Julianne both have Bachelors Degrees. We all have been working in childcare for between 9-11 years.
- ▶ We employ significantly more highly educated people than required.
- ▶ The government requires that we have 3/9 staff college educated, we have 8/9.

Why We Chose This Property

- ▶ There are many child care programs successfully operating throughout our city under child care minor. We operate one of these programs.
- ▶ We consulted with the City's traffic department while looking at properties. Their feedback was to choose a corner lot on a connector road.
- ▶ This property is across from Nicholas Sheran Park. We will take children to the park reducing backyard noise.
- ▶ It is within walking distance of two elementary schools. We will walk children from these programs to cut down on traffic.
- ▶ West Lethbridge is booming, and has very few child care programs in comparison to South Lethbridge.

Parking

- ▶ It was the transportation department's suggestion to apply for a parking waiver, and use our driveway as a loading zone for safety reasons.
- ▶ Parking Waivers are not uncommon for child care centres in Lethbridge. Children's House, Aslan, Caspian, Narnia, Sunny South, and Royal Axa all have parking waivers just to name a few.
- ▶ Being across from a park is ideal for a parking waiver as staff will not park in front of any neighbours homes.
- ▶ We encourage our staff to carpool. Staff also use public transportation or walk to work.
- ▶ We ask our parents to park in our designated spots and enforce this.

Traffic

- ▶ People assume that adding a child care program significantly increases traffic; parents like child care near their home or work, and are already travelling these roads to get to their destinations.
- ▶ It will be less than a 1% increase to traffic.
- ▶ Having a child care program does add some traffic, but so do schools, colleges and universities, recreational centres, grocery stores, churches and many other essential services.
- ▶ Purchasing a house on a collector road people have to expect to live with more traffic. This road isn't being overused now, it was being under used previously.
- ▶ The City employs traffic engineers, who are experts at Lethbridge traffic. We think it is important to respect their professional opinion, as they have specialized training. It is their opinion that this location is suitable for a child care program.

Staggered Drop Off and Pick Up Times

- ▶ Parents come twice a day for five minutes at the most. Most families have multiple children, other families walk, or use public transportation.
- ▶ Parents drop off anywhere between 7:00 a.m. and 12:00 p.m., and pick up anywhere between 2:00 p.m. and 5:30 p.m.
- ▶ Many children stay home one day a week. Young children occasionally get sick, or go on holidays.
- ▶ On an average day we have between 39, and 45 children.
- ▶ 50 children does not mean 50 drop offs and pick ups. Often parents are dropping off more than one child.
- ▶ The next 9 slides are drop off and pick up times from June 3rd- June 13th (we were closed June 14th for a PD Day).

Drop Off Times for June 3 2019	Vehicles	Pick Up Times for June 3, 2019	Vehicles
7:00-7:15	1	Before 2:00	1
7:15-7:30	2	2:00-2:15	
7:30-7:45	4	2:15-2:30	
7:45- 8:00	3	2:30-2:45	1
8:00-8:15	4	2:45-3:00	
8:15-8:30	4	3:00-3:15	
8:30-8:45	5	3:15-3:30	
8:45-9:00	2	3:30-3:45	2
9:00-9:15	3	3:45-4:00	4
9:15-9:30	0	4:00-4:15	4
9:30-9:45	2	4:15-4:30	3
9:45-10:00	1	4:30-4:45	5 2 Walked
10:00-10:15	1	4:45-5:00	5 2walked
10:15-10:30		5:00-5:15	5
Kindergarten Drop Off (12:00- 12:45) Some we walk	1 - 11:50 3- 12:05 Walked from School 1-12:45	5:15-5:30	5
Total Drop Offs	Vehicles: 35 Walked: 3	Total Pick Ups	Vehicles: 35 walked: 4

*Drop offs take between 2-5 minutes typically

*Pickups take between 3-6 minutes typically

*We use an app to communicate with the parents about their child's day, so typically they don't stay to talk about their child's day as it is all emailed in a report

*Only Children who walk daily were added in the walking tally

*Also keep in mind often there is more than one child being dropped off in one vehicle. At our current centre we have 8 sets of siblings

Drop Off Times for June 4 2019	Vehicles	Pick Up Times for June 4, 2019	Vehicles
7:00-7:15	0	Before 2:00	
7:15-7:30	4	2:00-2:15	
7:30-7:45	3	2:15-2:30	
7:45- 8:00	4	2:30-2:45	
8:00-8:15	5	2:45-3:00	
8:15-8:30	4	3:00-3:15	1
8:30-8:45	5	3:15-3:30	1
8:45-9:00	5	3:30-3:45	0
9:00-9:15	0	3:45-4:00	1
9:15-9:30	2	4:00-4:15	5
9:30-9:45	0	4:15-4:30	5
9:45-10:00	1	4:30-4:45	6 1 Walked
10:00-10:15	1	4:45-5:00	6 1 walked
10:15-10:30		5:00-5:15	6
Kindergarten Drop Off (12:00- 12:45) Some we walk	1 - 11:50 4- 12:05 3 Walked from School 1-12:45	5:15-5:30	6
Total Drop Offs	Vehicles: 37 Walked: 3	Total Pick Ups	Vehicles: 37 walked: 2

*Drop offs take between 2-5 minutes typically
 *Pickups take between 3-6 minutes typically
 *We use an app to communicate with the parents about their child's day, so typically they don't stay to talk about their child's day as it is all emailed in a report
 *Only Children who walk daily were added in the walking tally
 *Also keep in mind often there is more than one child being dropped off in one vehicle. At our current centre we have 8 sets of siblings

Drop Off Times for June 5 2019	Vehicles	Pick Up Times for June 5, 2019	Vehicles
7:00-7:15	1	Before 2:00	
7:15-7:30	5	2:00-2:15	
7:30-7:45	5	2:15-2:30	1
7:45- 8:00	3	2:30-2:45	
8:00-8:15	5	2:45-3:00	1
8:15-8:30	4	3:00-3:15	2
8:30-8:45	5	3:15-3:30	1
8:45-9:00	3	3:30-3:45	1
9:00-9:15	2	3:45-4:00	2
9:15-9:30	0	4:00-4:15	5
9:30-9:45	2	4:15-4:30	5
9:45-10:00	1	4:30-4:45	6
10:00-10:15	1	4:45-5:00	5
10:15-10:30		5:00-5:15	5 1 Walked
Kindergarten Drop Off (12:00-12:45) Some we walk	4 - 11:45 -12:00 3- 12:05 Walked from School 1-12:45	5:15-5:30	6
Total Drop Offs	Vehicles: 41 Walked: 3	Total Pick Ups	Vehicles: 40 walked: 1

*Drop offs take between 2-5 minutes typically

*Pickups take between 3-6 minutes typically

*We use an app to communicate with the parents about their child's day, so typically they don't stay to talk about their child's day as it is all emailed in a report

*Only Children who walk daily were added in the walking tally

*Also keep in mind often there is more than one child being dropped off in one vehicle. At our current centre we have 8 sets of siblings

Drop Off Times for June 6, 2019	Vehicles	Pick Up Times for June 6, 2019	Vehicles
7:00-7:15	0	Before 2:00	
7:15-7:30	1	2:00-2:15	1
7:30-7:45	2	2:15-2:30	
7:45- 8:00	5	2:30-2:45	
8:00-8:15	5	2:45-3:00	
8:15-8:30	6	3:00-3:15	1
8:30-8:45	6	3:15-3:30	1
8:45-9:00	6	3:30-3:45	0
9:00-9:15	1	3:45-4:00	2
9:15-9:30	1	4:00-4:15	3
9:30-9:45	0	4:15-4:30	5
9:45-10:00	0	4:30-4:45	6 1 Walked
10:00-10:15	1	4:45-5:00	6 1 walked
10:15-10:30		5:00-5:15	5
Kindergarten Drop Off (12:00- 12:45) Some we walk	3 - 11:45 -12:00 3- 12:05 Walked from School 1-12:45	5:15-5:30	6
Total Drop Offs	Vehicles: 38 Walked: 3	Total Pick Ups	Vehicles: 36 walked: 2

*Drop offs take between 2-5 minutes typically
 *Pickups take between 3-6 minutes typically
 *We use an app to communicate with the parents about their child’s day, so typically they don’t stay to talk about their child’s day as it is all emailed in a report
 *Only Children who walk daily were added in the walking tally
 *Also keep in mind often there is more than one child being dropped off in one vehicle. At our current centre we have 8 sets of siblings

Drop Off Times for June 7, 2019	Vehicles	Pick Up Times for April 3, 2019	Vehicles
7:00-7:15	1	Before 2:00	2
7:15-7:30	1	2:00-2:15	2
7:30-7:45	3	2:15-2:30	1
7:45- 8:00	1	2:30-2:45	1
8:00-8:15	3	2:45-3:00	0
8:15-8:30	4	3:00-3:15	1
8:30-8:45	5	3:15-3:30	0
8:45-9:00	3	3:30-3:45	1
9:00-9:15	5	3:45-4:00	1
9:15-9:30	0	4:00-4:15	2
9:30-9:45	1	4:15-4:30	1
9:45-10:00	0	4:30-4:45	3 1 Walked
10:00-10:15	1	4:45-5:00	4
10:15-10:30		5:00-5:15	5
Kindergarten Drop Off (12:00- 12:45) Some we walk	1 - 12:00	5:15-5:30	4
Total Drop Offs	Vehicles: 29	Total Pick Ups	Vehicles: 27 walked: 1

*Drop offs take between 2-5 minutes typically
 *Pickups take between 3-6 minutes typically
 *We use an app to communicate with the parents about their child's day, so typically they don't stay to talk about their child's day as it is all emailed in a report
 *Only Children who walk daily were added in the walking tally
 *Also keep in mind often there is more than one child being dropped off in one vehicle. At our current centre we have 8 sets of siblings

Drop Off Times for June 10, 2019	Vehicles	Pick Up Times for June 10, 2019	Vehicles
7:00-7:15	0	Before 2:00	0
7:15-7:30	4	2:00-2:15	1
7:30-7:45	3	2:15-2:30	0
7:45- 8:00	4	2:30-2:45	1
8:00-8:15	5	2:45-3:00	0
8:15-8:30	4	3:00-3:15	0
8:30-8:45	4	3:15-3:30	1
8:45-9:00	2	3:30-3:45	0
9:00-9:15	3	3:45-4:00	2
9:15-9:30	2	4:00-4:15	5
9:30-9:45	2	4:15-4:30	5 1 walked
9:45-10:00	0	4:30-4:45	5 1 Walked
10:00-10:15	0	4:45-5:00	6
10:15-10:30	0	5:00-5:15	6
Kindergarten Drop Off (12:00- 12:45) Some we walk	2 - 11:45 - 12:00 3 - 12:05 walked from school 1- 12:30 - 12:45	5:15-5:30	4
Total Drop Offs	Vehicles: 36 Walked: 3	Total Pick Ups	Vehicles: 36 walked: 2

*Drop offs take between 2-5 minutes typically
 *Pickups take between 3-6 minutes typically
 *We use an app to communicate with the parents about their child's day, so typically they don't stay to talk about their child's day as it is all emailed in a report
 *Only Children who walk daily were added in the walking tally
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Drop Off Times for June 11, 2019	Vehicles	Pick Up Times for June 11, 2019	Vehicles
7:00-7:15	1	Before 2:00	0
7:15-7:30	3	2:00-2:15	0
7:30-7:45	4	2:15-2:30	0
7:45- 8:00	4	2:30-2:45	0
8:00-8:15	3	2:45-3:00	0
8:15-8:30	4	3:00-3:15	0
8:30-8:45	4	3:15-3:30	1
8:45-9:00	1	3:30-3:45	0
9:00-9:15	2	3:45-4:00	1
9:15-9:30	0	4:00-4:15	5
9:30-9:45	0	4:15-4:30	5
9:45-10:00	0	4:30-4:45	6 1 Walked
10:00-10:15	1	4:45-5:00	6 1 Walked
10:15-10:30	0	5:00-5:15	5
Kindergarten Drop Off (12:00- 12:45) Some we walk	2 - 11:45 - 12:00 4- 12:05 3 walked from school 1- 12:30 - 12:45	5:15-5:30	3
Total Drop Offs	Vehicles: 31 Walked: 3	Total Pick Ups	Vehicles: 32 walked: 2

*Drop offs take between 2-5 minutes typically

*Pickups take between 3-6 minutes typically

*We use an app to communicate with the parents about their child's day, so typically they don't stay to talk about their child's day as it is all emailed in a report

*Only Children who walk daily were added in the walking tally

*Also keep in mind often there is more than one child being dropped off in one vehicle. At our current centre we have 8 sets of siblings

Drop Off Times for June 12, 2019	Vehicles	Pick Up Times for June 12, 2019	Vehicles
7:00-7:15	0	Before 2:00	0
7:15-7:30	4	2:00-2:15	0
7:30-7:45	5	2:15-2:30	1
7:45- 8:00	2	2:30-2:45	0
8:00-8:15	3	2:45-3:00	0
8:15-8:30	1	3:00-3:15	1
8:30-8:45	5	3:15-3:30	1
8:45-9:00	2	3:30-3:45	2
9:00-9:15	1	3:45-4:00	4
9:15-9:30	0	4:00-4:15	4
9:30-9:45	0	4:15-4:30	4
9:45-10:00	0	4:30-4:45	5 1 Walked
10:00-10:15	2	4:45-5:00	4
10:15-10:30	0	5:00-5:15	4
Kindergarten Drop Off (12:00- 12:45) Some we walk	3 - 11:45 - 12:00 3- 12:05 walked from school 1- 12:30 - 12:45	5:15-5:30	2
Total Drop Offs	Vehicles: 29 Walked: 3	Total Pick Ups	Vehicles: 32 walked: 1

*Drop offs take between 2-5 minutes typically
 *Pickups take between 3-6 minutes typically
 *We use an app to communicate with the parents about their child's day, so typically they don't stay to talk about their child's day as it is all emailed in a report
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Drop Off Times for June 13, 2019	Vehicles	Pick Up Times for June 13, 2019	Vehicles
7:00-7:15	0	Before 2:00	0
7:15-7:30	3	2:00-2:15	1
7:30-7:45	1	2:15-2:30	0
7:45- 8:00	1	2:30-2:45	0
8:00-8:15	3	2:45-3:00	0
8:15-8:30	5	3:00-3:15	1
8:30-8:45	5	3:15-3:30	1
8:45-9:00	3	3:30-3:45	0
9:00-9:15	2	3:45-4:00	1
9:15-9:30	0	4:00-4:15	3
9:30-9:45	2	4:15-4:30	6
9:45-10:00	0	4:30-4:45	6 1 Walked
10:00-10:15	1	4:45-5:00	5
10:15-10:30	0	5:00-5:15	5
Kindergarten Drop Off (12:00- 12:45) Some we walk	1-12:00 -12:15 1- 12:45 - 1:00 2- 1:00 - 1:15 (walked from school)	5:15-5:30	0
Total Drop Offs	Vehicles: 28 Walked: 2	Total Pick Ups	Vehicles: 29 walked: 1

*Drop offs take between 2-5 minutes typically

*Pickups take between 3-6 minutes typically

*We use an app to communicate with the parents about their child's day, so typically they don't stay to talk about their child's day as it is all emailed in a report

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Hours of Operation and Noise

- ▶ We are open from Monday-Friday 7 a.m. - 5.30 p.m.
- ▶ We are closed all Holidays, and for Christmas Break
- ▶ When in the backyard only two groups of children will be out at once, as it would violate Alberta Childcare Licensing Standards.
- ▶ Playing outside creates some noise, but we encourage children to be considerate of neighbours.
- ▶ The amount of children outside would range from 8-18 depending on the age group.

2018 Alberta Statistics

Research shows an educated workforce is the #1 indicator for quality in early learning and child care (ELCC) programs

CURRENT STATE

Only 15% of Alberta's children (birth to 12) have access to a licensed/regulated child care space, yet approximately 70% of their mothers are working.

More than one in four children are struggling in their development by kindergarten, which is a higher percentage than the Canadian norm.



At this time we have over 30 children on our waiting list. This number does not include the families who call looking for care immediately.

Having Licensed Space for only 15% of Children is a Serious Issue

- ▶ Licensed Child Care programs are monitored by:
 - ▶ Child Care Licensing
 - ▶ Alberta Health
 - ▶ Fire and Safety Inspectors
 - ▶ Child Care Accreditation
- ▶ City Building Codes for a child care program also set an important standard for being both safe and barrier free such as wheelchair accessibility

Neighbour Relations

- ▶ We have positive relationships with our neighbours at our current centre, who had issues with us opening.
- ▶ If a neighbour expresses a reasonable concern we make every effort to address it immediately.
- ▶ We fully intend to have positive relationships in this neighbourhood.
- ▶ We maintain our property and make improvements to make it more appealing.
- ▶ We come in on weekends and holidays to ensure our sidewalk is shoveled.
- ▶ There is no evidence to suggest child care programs lower property values.

Neighbours Concerns

- ▶ One neighbour canvassed around far out of the likely impacted zone (by the City's own definition) Many of the appellants are not close enough to likely be impacted.
- ▶ We feel this spread a lot of fear, and misinformation to people not at the first meeting.
- ▶ This neighbour also started a petition, we started a counter petition that has received a lot of support. We think it's important for you to know that many members of our community are fully in support of this project.
- ▶ We understand change is difficult, but often reality is nowhere close to what people imagine. If you look back at our attendance charts recording vehicles coming, and going for a two week period you can clearly see 50 cars do not arrive at once. This is a very common misconception.
- ▶ We would like to point out the traffic department is completely non partisan, they look at facts and statistics that many of us don't have access to, and probably wouldn't understand if we did. Neighbours perceptions do not negate facts.
- ▶ The concerns expressed in this neighbourhood have been identical to our South side location, where we have now been successfully operating for 5 years without a single traffic or safety incident. The fears of us operating diminished very quickly after opening.

Neighbours' Support

- ▶ Many neighbours we spoke to were supportive of a child care program opening. Overall we got primarily positive comments.
- ▶ Often the neighbours in support do not attend these meetings, as they don't foresee it being an issue.
- ▶ We hand delivered letters to all our closest neighbours inviting questions, but were not contacted by any personally.

Conclusion

- ▶ A few people may experience minor inconveniences, but for our City as a whole, every single licensed accredited child care space that opens is a huge win.
- ▶ This isn't just a business to us, it's a service our community desperately needs. We have a passion for working with young children and believe very strongly in what we do. Children are members of our community.
- ▶ Studies show that early childhood environments make a huge difference in children's lives both now and in the future. We strongly encourage you to support Early Childhood Education in our community.

DATE: June 12th, 2019

Dear Subdivision and Development Appeal Board (City of Lethbridge):

**RE: 250 McMaster Boulevard – Daycare for 50 Children/9 Staff
Request for Appeal of Decision – Development Permit #11073**

I am aware of the application to allow the above noted residential property to be used as a daycare for up to fifty (50) children and nine (9) staff members. I also understand that although this house has **insufficient parking space** to accommodate up to 100 vehicle visits each day (50 x 2 visits each), a waiver of five (5) parking stalls has been granted.

This property is situated on a corner lot of a very busy intersection. It experiences heavy traffic volumes at the same times of the day when parents would also be trying to drop off and pick up their young child.

Vehicles approaching from the north are accelerating because they have just left the school zone of The Children of St. Martha's Elementary School. Parents will not be able to park directly in front of the house because there is a "no stopping" sign. Instead, they will have to park elsewhere in this residential neighbourhood.

Vehicles approaching from either the south or west will have moments of hesitation and uncertainty about where to turn and where to park, creating a hazard to all traffic on Temple Boulevard and McMaster Boulevard.

Asking parents to park along the curb of Nicholas Sheran Park creates a dangerous jay-walking situation for parents and their children and should not even be considered an option.

I/we respectfully request that approval for this application be withdrawn.

Signed: _____
Print Signed: John Hoy
Address: 121 - RECON ROAD WEST

June 20th, 2019

SUBMITTED TO:

City of Lethbridge - Subdivision and Development Appeal Board

**PETITION OPPOSING the development of
Land Use Bylaw 5700 (Development Permit)**

Development of a daycare for a maximum of 50 children and 9 staff members

At a home at **250 McMaster Boulevard W.**, Lethbridge AB





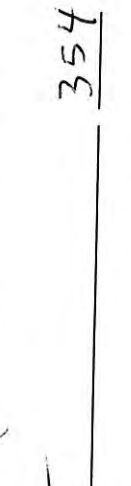
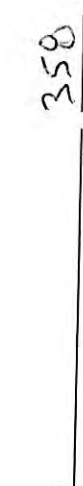
Signed by **155 residents** who live in the immediate area of 250 McMaster Blvd. or vicinity and feel personally and directly affected by this rezoning.

- 32 McMaster Boulevard W.
 - 13 Temple Boulevard W.
 - 20 Temple Crescent W.
 - 31 Eton Road W.
 - 19 Cambridge Road W.
 - 10 Oxford Road W.
 - 10 Oxford Place W.
 - 8 Sheridan Road W.
 - 6 Seneca Place W.
 - 3 Sheridan Place W.
 - 2 Ryerson Road W.
 - 1 Laval Court W.
-

155 petition signatures

**Petition against the development of the following:
Land Use Bylaw 5700 (development permit)**


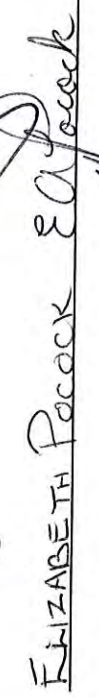
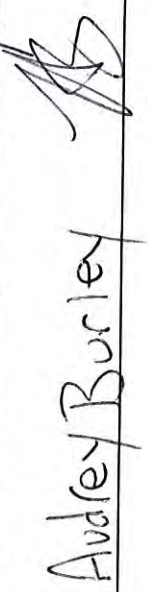



Development of a daycare for a maximum of 50 children and 9 staff members at a private home at 250 McMaster Blvd W Lethbridge.

	<u>Name</u>	<u>Signature</u>	<u>Address No.</u>	<u>Address</u>	<u>Date</u>
1	PAT M'KEWZIE		314	McMaster Blvd W. Lethbridge	29 ^{May} June, 2019
2	LAURENT CONARD		310	McMaster Blvd W. Lethbridge	29 ^{May} June, 2019
3	Sandra Hill		338	McMaster Blvd W. Lethbridge	29 ^{May} June, 2019
4	Justin McE		346	McMaster Blvd W. Lethbridge	29 ^{May} June, 2019
5	John Gunn		354	McMaster Blvd W. Lethbridge	29 ^{May} June, 2019
6	David Bourassa		358	McMaster Blvd W. Lethbridge	29 ^{May} June, 2019

Petition against the development of the following:

Land Use Bylaw 5700 (development permit)


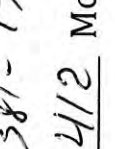

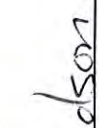
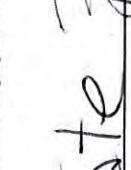

Development of a daycare for a maximum of 50 children and 9 staff members at a private home at 250 McMaster Blvd W Lethbridge.

<u>Name</u>	<u>Signature</u>	<u>Address No.</u>	<u>Date</u>
7 <u>Danielle Pocock</u>		<u>Elizabeth Pocock</u> <u>362 McMaster Blvd W. Lethbridge</u>	<u>29</u> ^{May} <u>June, 2019</u>
8 <u>ELIZABETH POCKOCK</u>		<u>362 McMaster Blvd W. Lethbridge</u>	<u>29</u> ^{May} <u>June, 2019</u>
9 <u>Audrey Burley</u>		<u>362 McMaster Blvd W. Lethbridge</u>	<u>29</u> ^{May} <u>June, 2019</u>
10 <u>Calvin Leslie</u>		<u>2</u> <u>Sheridan Rd. W.</u> <u>McMaster Blvd W. Lethbridge</u>	<u>29</u> ^{May} <u>June, 2019</u>
11 <u>San Bodiou</u>		<u>370 McMaster Blvd W. Lethbridge</u>	<u>29</u> ^{May} <u>June, 2019</u>
12 <u>NICOLE SPINKLE</u>		<u>392 McMaster Blvd W. Lethbridge</u>	<u>29</u> ^{May} <u>June, 2019</u>

Petition against the development of the following:

Land Use Bylaw 5700 (development permit)

Development of a daycare for a maximum of 50 children and 9 staff members at a private home at 250 McMaster Blvd W Lethbridge.

<u>Name</u>	<u>Signature</u>	<u>Address No.</u>	<u>Date</u>
13 Elyssa Duck 403-745-5059		904 McMaster Blvd W. Lethbridge	29 ^{May} June, 2019
14 Romina Santopelle		403-381-1710 412 McMaster Blvd W. Lethbridge	29 ^{May} June, 2019
15 Darlene McLANE		403-381-0338 302 McMaster Blvd W. Lethbridge	29 ^{May} June, 2019
16 Scott & Linda Davidson		308-6984 294 McMaster Blvd W. Lethbridge	29 ^{May} June, 2019
17 Barb Tate		(403) 381-0748 286 McMaster Blvd W. Lethbridge	29 ^{May} June, 2019
18 Kelly Peters		381-1252 278 McMaster Blvd W. Lethbridge	29 ^{May} June, 2019

Petition against the development of the following:

Land Use Bylaw 5700 (development permit)



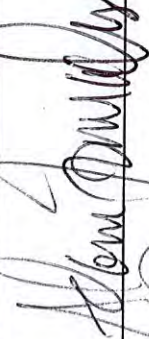



Development of a daycare for a maximum of 50 children and 9 staff members at a private home at 250 McMaster Blvd W Lethbridge.

<u>Name</u>	<u>Signature</u>	<u>Address No.</u>	<u>Address</u>	<u>Date</u>
19 BRAD PEAKE	<i>Brad Peake</i>	278	McMaster Blvd W. Lethbridge	MAY June , 2019
20 JAWAL	<i>Jawal</i>	403-915-5194 274	McMaster Blvd W. Lethbridge	29 June 2019
21 FRANK PAWAK	<i>Frank Pawak</i>	403-308-1905 274	McMaster Blvd W. Lethbridge	29 May, 2019
22 Melissa Sondergaard	<i>Melissa Sondergaard</i>	403-795-6940 270	McMaster Blvd W. Lethbridge	May 29, June, 2019
23 MARGARET MITCHELL	<i>Margaret Mitchell</i>	306	McMaster Blvd W. Lethbridge	May 30, June, 2019
24 Susan Green	<i>Susan Green</i>	306	McMaster Blvd W. Lethbridge	May 30, June, 2019

Petition against the development of the following:

Land Use Bylaw 5700 (development permit)

Development of a daycare for a maximum of 50 children and 9 staff members at a private home at 250 McMaster Blvd W Lethbridge.

<u>Name</u>	<u>Signature</u>	<u>Address No.</u>	<u>Address</u>	<u>Date</u>
25 <u>Renee Koop</u>		<u>15</u>	<u>Cambridge</u> McMaster Blvd W. Lethbridge	<u>30</u> June, 2019
26 <u>Brendan Pyno</u>		<u>6</u>	<u>Cambridge Rd</u> McMaster Blvd W. Lethbridge	<u>1st</u> June, 2019
27 <u>Adam Tomrodas</u>		<u>298</u>	McMaster Blvd W. Lethbridge	<u>1st</u> June, 2019
28 <u>Kevin Mackensen</u>		<u>23</u>	<u>Temple Crescent W</u> McMaster Blvd W. Lethbridge	<u>4</u> June, 2019
29 <u>Laurie MacLachlan</u>		<u>31</u>	<u>Cambridge Road</u> McMaster Blvd W. Lethbridge	<u>11</u> June, 2019
30 <u>Tom MacLachlan</u>		<u>31</u>	<u>Cambridge Rd W</u> McMaster Blvd W. Lethbridge	<u>11</u> June, 2019

Petition against the development of the following:

Land Use Bylaw 5700 (development permit)







Development of a daycare for a maximum of 50 children and 9 staff members at a private home at 250 McMaster Blvd W Lethbridge.

<u>Name</u>	<u>Signature</u>	<u>Address No.</u>	<u>Date</u>
31 Amy Lazzo	<i>Amy Lazzo</i>	23 Cambridge Rd West	30 May, 2019
32 KATHY	<i>KATHY</i>	27. Cambridge Rd.	30 May, 2019
33 SHARMA KERR	<i>Sharma Kerr</i>	39 Cambridge Row.	30 May, 2019
34 Chris Sue Constant	<i>Chris Sue Constant</i>	43 Cambridge Rd	30 May, 2019
35 Jim + Colleen Gerla	<i>Jim + Colleen Gerla</i>	47 Cambridge Rd	30 May, 2019
36 Awarie + Rita Lewis	<i>Awarie + Rita Lewis</i>	3 Temple Blvd	31 May, 2019

Petition against the development of the following.

Land Use Bylaw 5700 (development permit)

Development of a daycare for a maximum of 50 children and 9 staff members at a private home at 250 McMaster Blvd W Lethbridge.

	<u>Name</u>	<u>Signature</u>	<u>Address No.</u>	<u>Date</u>
37	EDWARD GRANT SHANKS		222 McMaster Blvd 31	31 May, 2019
	LANA			
38	J Greckrey		946 McMaster Blvd W	31 May, 2019
39	Cheryl Bitten		Cambridge Rd	31 May, 2019
40	V. Shreeve		Cambridge Rd	31 May, 2019
41	Maryann Bular		45 LAVAL CRT 31	31 May, 2019
42	Sharon Marshall		192 Ryerson Rd	31 May, 2019

Petition against the development of the following:

Land Use Bylaw 5700 (development permit)

Development of a daycare for a maximum of 50 children and 9 staff members at a private home at 250 McMaster Blvd W Lethbridge.

	<u>Name</u>	<u>Signature</u>	<u>Address No.</u>	<u>Date</u>
43	LONA HUBBES	<i>Lona Hughes</i>	10 TEMPLE BLVD	4 JUNE May, 2019
44	John Loree	<i>John Loree</i>	11 Temple Cres	4 JUNE May, 2019
45	Annie Loree	<i>Annie Loree</i>	11 Temple Cres	4 JUNE May, 2019
46	Lorraine Jack	<i>Lorraine Jack</i>	15 Temple Cres	4 JUNE May, 2019
47	Ken Jack	<i>Ken Jack</i>	15 Temple Cres	4 JUNE May, 2019
48	Marie Price	<i>Marie Price</i>	31 Temple Cres	4 May, 2019

Petition against the development of the following.

Land Use Bylaw 5700 (development permit)







Development of a daycare for a maximum of 50 children and 9 staff members at a private home at 250 McMaster Blvd W Lethbridge.

<u>Name</u>	<u>Signature</u>	<u>Address No.</u>	<u>Address</u>	<u>Date</u>
49 31 <u>Margy Kirkham</u>	<u>Margy Kirkham</u>	<u>35</u>	<u>Temple Cir.</u> McMaster Blvd W. Lethbridge	<u>4</u> June, 2019
50 32 <u>L. Lancia</u>	<u>L. Lancia</u>	<u>387</u>	<u>McMaster Blvd W. Lethbridge</u>	<u>4</u> June, 2019
51 33 <u>Sasha Mirkovich</u>	<u>Sasha Mirkovich</u>	<u>230</u>	<u>McMaster Blvd W. Lethbridge</u>	<u>5</u> June, 2019
52 34 <u>Deb Shaw</u>	<u>Deb Shaw</u>	<u>2</u>	<u>Temple Blvd W</u> McMaster Blvd W. Lethbridge	<u>5</u> June, 2019
53 35 <u>Adam Buzzele</u>	<u>Adam Buzzele</u>	<u>326</u>	<u>McMaster Blvd W. Lethbridge</u>	<u>11</u> June, 2019
54 36 <u>Chris Cunningham</u>	<u>Chris Cunningham</u>	<u>350</u>	<u>McMaster Blvd W. Lethbridge</u>	<u>12</u> June, 2019

Petition against the development of the following:

Land Use Bylaw 5700 (development permit)

Development of a daycare for a maximum of 50 children and 9 staff members at a private home at 250 McMaster Blvd W Lethbridge.

<u>Name</u>	<u>Signature</u>	<u>Address</u>	<u>Date</u>
55		35 Spensden Rd W	11 June, 2019
56		39 Shuckin Rd	11 June, 2019
57		43 Sheridan BR	11 June, 2019
58		44 SHERIDAN RD W.	11 June, 2019
59		30 SHERIDAN RD	11 June, 2019
60		31 Sheridan Rd W	11 June, 2019

Petition against the development of the following.

Land Use Bylaw 5700 (development permit)



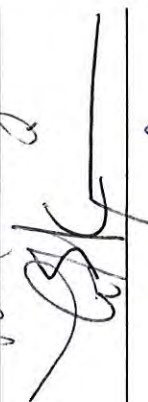



Development of a daycare for a maximum of 50 children and 9 staff members at a private home at 250 McMaster Blvd W Lethbridge.

	<u>Name</u>	<u>Signature</u>	<u>Address</u>	<u>Date</u>
61	<u>Ann Parker</u>	<u>[Signature]</u>	<u>20 Sheridan Rd. W.</u>	<u>12 June, 2019</u>
62	<u>Tara Anderson</u>	<u>[Signature]</u>	<u>22 Sheridan P.W.</u>	<u>12 June, 2019</u>
63	<u>Tara Anderson</u>	<u>[Signature]</u>	<u>22 Sheridan P.W.</u>	<u>12 June, 2019</u>
64	<u>L. Puff</u>	<u>[Signature]</u>	<u>18 Seneca P.W.</u>	<u>12 June, 2019</u>
65	<u>James Haskett</u>	<u>[Signature]</u>	<u>23 Seneca P.W.</u>	<u>12 June, 2019</u>
66	<u>G. Schultz</u>	<u>[Signature]</u>	<u>14 Seneca Place</u>	<u>12 June, 2019</u>

Petition against the development of the following.

Land Use Bylaw 5700 (development permit)




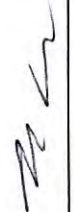


Development of a daycare for a maximum of 50 children and 9 staff members at a private home at 250 McMaster Blvd W Lethbridge.

<u>Name</u>	<u>Signature</u>	<u>Address</u>	<u>Date</u>
67 Anne Lanz		10 Seneca Pl. W.	13 June, 2019
68 Paul Lanz		10 SEVECA Pl. W.	13 June, 2019
69 GARY KERNAN		6 Seneca Place W.	13 June, 2019
70 MARY SMITH		7 TEMPLE BLDG W	13 June, 2019
71 Erin Vogt		100 Eton Rd W	13 June, 2019
72 Kaley Hill		105 Eton Rd W	13 June, 2019

Petition against the development of the following:

Land Use Bylaw 5700 (development permit)




Development of a daycare for a maximum of 50 children and 9 staff members at a private home at 250 McMaster Blvd W Lethbridge.

<u>Name</u>	<u>Signature</u>	<u>Address</u>	<u>Date</u>
73 <u>TIM SMITH</u>		<u>7 TEMPLE BLVD W</u>	<u>15</u> June, 2019
74 <u>Jan Williams</u>		<u>106 Ryerson Place W</u>	<u>12</u> June, 2019
75 <u>Jeremy Forster</u>		<u>52 Cambridge Road W</u>	<u>15</u> June, 2019
76 <u>Maria Trask</u>		<u>52 Cambridge Rd</u>	<u>15</u> June, 2019
77 <u>RACHEL NAVROT</u>		<u>56 Cambridge Rd</u>	<u>15</u> June, 2019
78 <u>Bernard Navrot</u>		<u>56 Cambridge Rd</u>	<u>15</u> June, 2019

Petition against the development of the following:

Land Use Bylaw 5700 (development permit)







Development of a daycare for a maximum of 50 children and 9 staff members at a private home at 250 McMaster Blvd W Lethbridge.

	<u>Name</u>	<u>Signature</u>	<u>Address</u>	<u>Date</u>
79	Celia Svoboda		64 Cambridge Rd	15 June, 2019
80	Emily Wilton		68 Cambridge Rd	15 June, 2019
81	Michael Oyar		68 Cambridge Rd	15 June, 2019
82	Paul Jones		79 Cambridge rd	June, 2019
83	Marilyn Bodura		151 Temple Cr	15 June, 2019
84	Tony Stellingma		151 Temple Cr. W	June, 2019

Petition against the development of the following.

Land Use Bylaw 5700 (development permit)


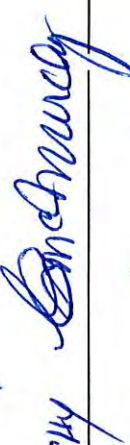

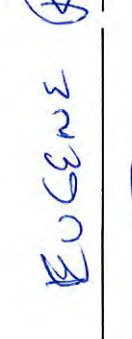

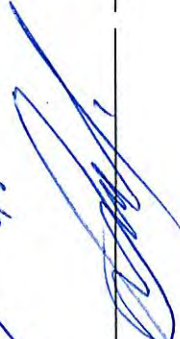
Development of a daycare for a maximum of 50 children and 9 staff members at a private home at 250 McMaster Blvd W Lethbridge.

<u>Name</u>	<u>Signature</u>	<u>Address</u>	<u>Date</u>
85 Sherona McClung		6 Eton Rd. W.	13 June, 2019
86 Clayton McClung		6 Eton Rd. W.	13 June, 2019
87 Janice Jackson		105 Eton Rd West	13 June, 2019
88 Kyeen Vest		100 Eton Rd W	15 June, 2019
89 JEFF DEBOSIERS		105 Eton Rd W	14 June, 2019
90 Pam Ross		101 Eton Road W.	15 June, 2019

Petition against the development of the following.

Land Use Bylaw 5700 (development permit)

Development of a daycare for a maximum of 50 children and 9 staff members at a private home at 250 McMaster Blvd W Lethbridge.

	<u>Name</u>	<u>Signature</u>	<u>Address</u>	<u>Date</u>
91	JAMES McMURCHY		97 ETON ROAD W	15 th June, 2019
92	ELEANOR McMURCHY		97 ETON ROAD W	15 June, 2019
93	Susan Reron		88 Eton Rd. W	15 June, 2019
94	Eugene Reron		88 ETON RD W	15 June, 2019
95	James Ryon		84 Eton Rd W	15 June, 2019
96	Leo Dyrano		88 Eton Rd W	15 June, 2019

Petition against the development of the following.

Land Use Bylaw 5700 (development permit)





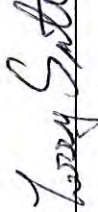

Development of a daycare for a maximum of 50 children and 9 staff members at a private home at 250 McMaster Blvd W Lethbridge.

<u>Name</u>	<u>Signature</u>	<u>Address</u>	<u>Date</u>
97	Gayle Harwood	Gayle Dyrand 80 Eton Rd W	15 June, 2019
98	Harry Smith	Harry Smith 35 Eton Rd W	15 June, 2019
99	Liz Smith	Liz Smith 35 Eton Rd W	15 June, 2019
100	Kate Noel	Kate Noel 7 Eton Rd W	15 June, 2019
101	Stephanie Nielsen	Stephanie Nielsen 7 Eton Rd W	15 June, 2019
102	Stephanie Nielsen	Stephanie Nielsen 2 Eton Rd W	15 June, 2019

Petition against the development of the following.

Land Use Bylaw 5700 (development permit)





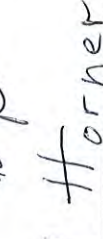

Development of a daycare for a maximum of 50 children and 9 staff members at a private home at 250 McMaster Blvd W Lethbridge.

	<u>Name</u>	<u>Signature</u>	<u>Address</u>	<u>Date</u>
103	Pat Clemons		342 McMaster ^{15th} Blvd	June, 2019
104	Cheryl Leithall		Chenthall 35 Temple Blvd.	June, 2019
105	Jean Walton		19 Temple Cr. W	June, 2019
106	Megan Anderson		113 Temple Blvd	June, 2019
107	TERRY SUTTON		31 TEMPLE BLVD	June, 2019
108	Kim Sexsmith		6 Oxford Place W	17 June, 2019

Petition against the development of the following:

Land Use Bylaw 5700 (development permit)







Development of a daycare for a maximum of 50 children and 9 staff members at a private home at 250 McMaster Blvd W Lethbridge.

<u>Name</u>	<u>Signature</u>	<u>Address</u>	<u>Date</u>
109 Susan Zuback		39 Ston Road west Lethbridge	16 June, 2019
110 Mike Zuback		39 Ston Rd west Lethbridge	16 June, 2019
111 Nicole Redmond		72 Eton Road, Lethbridge	16 June, 2019
112 Adam Graves		72 Eton Rd W. Lethbridge	16 June, 2019
113 Gail Horner		67 Eton Rd. Lethbridge	16 June, 2019
114 Lee Gordon		11 Eton Rd. Lethbridge	17 June, 2019

Petition against the development of the following:

Land Use Bylaw 5700 (development permit)







Development of a daycare for a maximum of 50 children and 9 staff members at a private home at 250 McMaster Blvd W Lethbridge.

<u>Name</u>	<u>Signature</u>	<u>Address</u>	<u>Date</u>
115 Lorna Gordon		11 Eton Rd	17 June, 2019
116 Bryan Austin		109 Eton Road W,	17 June, 2019
117 PAUL TYRRELL		# 31 ETON RD W	17 June, 2019
118 Cody Nielsen		# 2 Eton Rd. W	17 June, 2019
119 Wynne Tate		286 McMaster Blvd	17 June, 2019
120 Maureen Furtado		26 Oxford Rd. W	17 June, 2019

Petition against the development of the following:

Land Use Bylaw 5700 (development permit)







Development of a daycare for a maximum of 50 children and 9 staff members at a private home at 250 McMaster Blvd W Lethbridge.

<u>Name</u>	<u>Signature</u>	<u>Address</u>	<u>Date</u>
121 Mark Fraser		6 Oxford St West	17 June, 2019
122 VALERIE NORSWORTHY		86 Temple Cr W	17 June, 2019
123 Ken Norsworthy		86 Temple Cres W	17 June, 2019
124 D Valer		BUBVAT @ TELUS.NET	17 June, 2019
125 Kristy Paquette		45 Temple Crescent W	17 June, 2019
126 Chris Johansen		42 Temple Cres W	17 June, 2019

Petition against the development of the following:

Land Use Bylaw 5700 (development permit)

Development of a daycare for a maximum of 50 children and 9 staff members at a private home at 250 McMaster Blvd W Lethbridge.

<u>Name</u>	<u>Signature</u>	<u>Address</u>	<u>Date</u>
127 ROBERT MACPHAIL		74 TEMPLE CRES W	17 June, 2019
128 WENDY MACPHAIL		74 TEMPLE CRES W	17 June, 2019
129 Linda Comstock		135 Temple Cres. W.	17 June, 2019
130 Mike Ross		140 Temple Cres W.	17 June, 2019
131 DOUG ANDERSON		113 TEMPLE BLVD W	17 June, 2019
132 Helene Saund		310 Mc Master Blvd	17 June, 2019

Petition against the development of the following:

Land Use Bylaw 5700 (development permit)



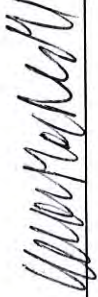

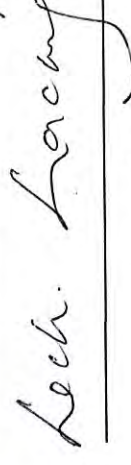


Development of a daycare for a maximum of 50 children and 9 staff members at a private home at 250 McMaster Blvd W Lethbridge.

<u>Name</u>	<u>Signature</u>	<u>Address</u>	<u>Date</u>
133 ALASTAIR FURTADO	<i>Alastair</i>	26 OXFORD RD LETHBRIDGE	18 June, 2019
134 RANDY SANADA	<i>R. Sanada</i>	22 OXFORD RD	18 June, 2019
135 Karen Guenther	<i>Karen Guenther</i>	18 Oxford Rd	18 June, 2019
136 John Giesbrecht	<i>John Giesbrecht</i>	38 Oxford Rd.	18 June, 2019
137 <i>[Signature]</i>	<i>[Signature]</i>	42 OXFORD ROAD WEST	June, 2019
138 Trevor Colliton	<i>Trevor Colliton</i>	46 Oxford Rd. W.	18 June, 2019

Petition against the development of the following.

Land Use Bylaw 5700 (development permit)

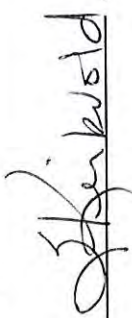





Development of a daycare for a maximum of 50 children and 9 staff members at a private home at 250 McMaster Blvd W Lethbridge.

<u>Name</u>	<u>Signature</u>	<u>Address</u>	<u>Date</u>
139 Emily Colthart		46 Oxford Rd W	18 June, 2019
140 Darren Toth		3 Oxford Rd W	18 June, 2019
141 Lawrence MacNeil		6 Oxford Rd W	18 June, 2019
142 Linda Lacey		10 Oxford Pl W	18 June, 2019
143 Lech. Lacey		10 Oxford Pl W	18 June, 2019
144 		14 Oxford Pl W	18 June, 2019

Petition against the development of the following.

Land Use Bylaw 5700 (development permit)

Development of a daycare for a maximum of 50 children and 9 staff members at a private home at 250 McMaster Blvd W Lethbridge.

<u>Name</u>	<u>Signature</u>	<u>Address</u>	<u>Date</u>
145 Shelley Kirkvold		18 Oxford Pl. W	18 June, 2019
146 Terry Kirkvold		18 Oxford Pl W	18 June, 2019
147 Shelley Ledgerwood	 <i>Shelley</i>	15 Oxford Pl. W	18 June, 2019
148 Ken Inzioso		11 Oxford Pl W	18 June, 2019
149 Dinda Inzioso		11 Oxford Pl W	18 June, 2019
150 Doris Kostink		7 Oxford Pl. W.	18 June, 2019

Petition against the development of the following:

Land Use Bylaw 5700 (development permit)

Development of a daycare for a maximum of 50 children and 9 staff members at a private home at 250 McMaster Blvd W Lethbridge.

	<u>Name</u>	<u>Signature</u>	<u>Address</u>	<u>Date</u>
145 151	EVANS KENZIE	EK.	26 Temple	18 June, 2019
146 152	Dan Crews	DC	19 temple blvd	18 June, 2019
147 153	Mrs Elford	Res 2 Road	38 Temple Blvd.	18 June, 2019
148 154	Elizabeth Bohner	Elizabeth Bohner	117 Eton Rd.	19 June, 2019
149 155	John Hayz	J	121 - Eton Road.	19 June, 2019
150 156				June, 2019

June 20, 2019

To Whom It May Concern,

We (Mary & Ted Nanninga) purchased our home at 51 Temple Blvd two years ago. At that time we appreciated the close proximity to Nicolas Sheran Park and what appeared to be a quiet neighbourhood.

We were very concerned to learn that a daycare has been planned for the very busy intersection of Temple Blvd and McMaster Blvd West. The traffic hazards and congestion issues in the area include:

- Many children, seniors and cyclists use the crosswalk to cross McMaster and more traffic in the immediate area will put them at further risk.
- This intersection is already congested because of construction and development in other areas of the west side. There is almost constant traffic down Temple Blvd now
- Even with staggered drop-off (don't know that this is realistic as most people work a similar schedule 8-4/9-5) it would still mean many cars parked outside a house with few spaces. Recently the neighborhood school of St. Martha's had to create a second driveway to keep children safe and prevent congestion on McMaster. This would not be an option for the daycare.
- Observing drop-offs at any other the neighbourhood school proves that parents drive erratically (u-turns), stop suddenly and jaywalk in order to make it on time for school and themselves to work. This is a hazard to themselves and puts other drivers at risk. We now drive the long way to work to avoid school zones for this reason.

Thank you for taking the time to hear our concerns and I hope you will make an educated decision regarding this development.

Sincerely,

Mary & Ted Nanninga
51 Temple Blvd, W

From: [Ahmed Ali](#)
Sent: June 19, 2019 4:51 PM
To: 'rita.law@telus.net'
Cc: [Doug Hawkins](#); [Darwin Juell](#)
Subject: RE: 301 mph on McMaster Blvd

Hello Rita,

Thank you for informing us of the damaged sign. We will check it and replace asap.

Attached are the traffic counts at Temple Blvd W/McMaster Blvd W intersection and traffic volume/speed study on Temple Blvd W. Both Temple Blvd W and McMaster Blvd W predate our current roadway standards for different classes of roads. Based on the road geometry and context, Temple Blvd W is classified as a major collector road and McMaster Blvd W is classified as a Super Collector Road.

I did not receive any voice message or email from you today or recently for the above information; Darwin told me you had left a message on his phone this morning. Anyways, I hope I have provided you the info you have requested.

Regards,

Ahmed Ali, P.Eng., PTOE, RSP
Transportation Engineering Manager
Infrastructure Services

City of *Lethbridge*

304 Stafford Dr N, Lethbridge, Alberta, Canada T1H 2A6
Phone: 403-320-4038, Cell: 403-393-4685, Fax: 403-329-4657
ahmed.ali@lethbridge.ca, www.lethbridge.ca

City of Lethbridge: Intersection Summary

Northbound Street: McMaster Blvd W	RTOR: Y	Speed: 50	Heavy Veh %: 2	Next Signal: 379	Median Wth: N	Bus Route: N
Eastbound Street: Temple Blvd W	RTOR: Y	Speed: 50	Heavy Veh %: 3	Next Signal: N	Median Wth: N	Bus Route: N
Southbound Street: McMaster Blvd W	RTOR: Y	Speed: 50	Heavy Veh %: 2	Next Signal: N	Median Wth: N	Bus Route: N
Westbound Street: _____	RTOR: Y	Speed: _____	Heavy Veh %: _____	Next Signal: _____	Median Wth: _____	Bus Route: _____
Weather: 6.9°C	Persons Challenged by Mobility Issues: N		Adjacent to Elementary School: N		Pathway for School: N	
Date: Thu, Mar 10, 2016	Counted By: MioVision	Intersection: W-065		Senior Centre or Junior High: N		CBD: N
Notes: Site Code W-065						

AM	NORTHBOUND			SOUTHBOUND			EASTBOUND			WESTBOUND			Crosswalks					Peak Hour		
	NBL	NBT	NBR	SBL	SBT	SBR	EBL	EBT	EBR	WBL	WBT	WBR	North	South	East	West	Total		15 Minute Totals	60 Minute Totals
	7:00 - 7:15	2	55			18	9	23		5					4		1		5	112
7:15 - 7:30	23	81			17	4	28		12					1			1	165		
7:30 - 7:45	44	120			19	8	33		19					1			1	243		
7:45 - 8:00	60	108			27	12	28		31					3		2	5	266	786	
8:00 - 8:15	23	96			52	7	20		32					9		2	11	230	904	
8:15 - 8:30	25	119			50	19	36		22					9		7	16	271	1010	
8:30 - 8:45	24	94			36	15	36		25					3			3	230	997	
8:45 - 9:00	16	74			37	12	23		19									181	912	
Peak Hour:	152	443			148	46	117		104					22		11				PHF: 0.93
PHF:	0.63	0.92			0.71	0.61	0.81		0.81											

MID	NORTHBOUND			SOUTHBOUND			EASTBOUND			WESTBOUND			Crosswalks					Peak Hour		
	NBL	NBT	NBR	SBL	SBT	SBR	EBL	EBT	EBR	WBL	WBT	WBR	North	South	East	West	Total		15 Minute Totals	60 Minute Totals
	11:00 - 11:15	6	33			52	7	17		42							4		4	157
11:15 - 11:30	13	43			49	13	27		14					1		1	2	159		
11:30 - 11:45	13	53			45	28	20		4					2			2	163		
11:45 - 12:00	30	51			44	14	23		22					2			2	184	663	
12:00 - 12:15	14	35			46	24	36		16									171	677	
12:15 - 12:30	15	50			53	27	16		15									176	694	
12:30 - 12:45	16	46			48	16	21		17									164	695	
12:45 - 13:00	15	65			48	16	22		13									179	690	
Peak Hour:	75	182			191	81	96		70					2						PHF: 0.94
PHF:	0.63	0.89			0.90	0.75	0.67		0.80											

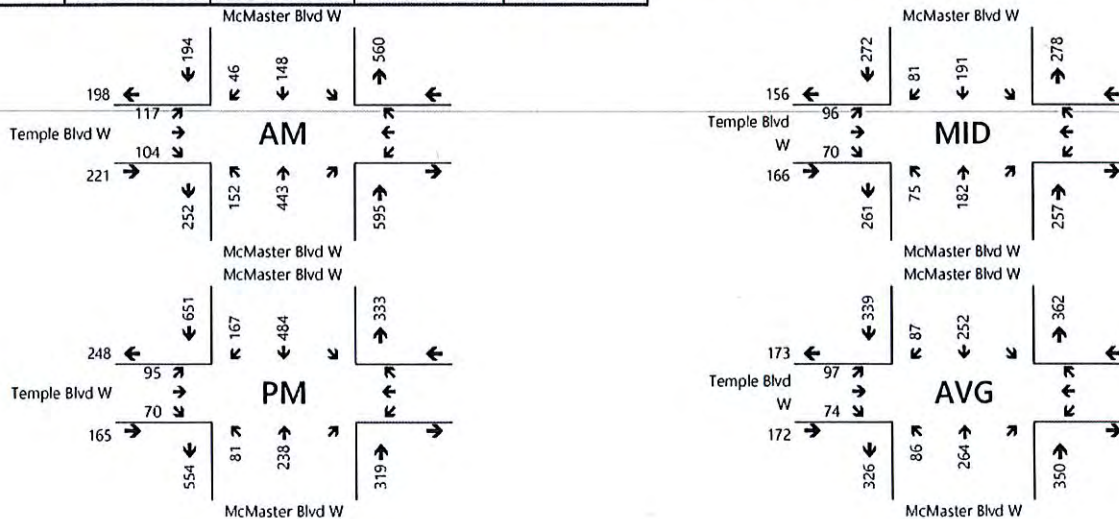
PM	NORTHBOUND			SOUTHBOUND			EASTBOUND			WESTBOUND			Crosswalks					Peak Hour		
	NBL	NBT	NBR	SBL	SBT	SBR	EBL	EBT	EBR	WBL	WBT	WBR	North	South	East	West	Total		15 Minute Totals	60 Minute Totals
	15:00 - 15:15	16	61			66	29	20		55					1		2		3	247
15:15 - 15:30	34	93			86	37	14		17					4		2	6	281		
15:30 - 15:45	37	52			100	35	12		15					9		6	15	251		
15:45 - 16:00	24	58			97	26	17		19					1		5	6	241	1020	
16:00 - 16:15	13	54			87	31	26		17									228	1001	
16:15 - 16:30	19	60			102	33	25		16					1		1	2	255	975	
16:30 - 16:45	20	58			107	39	20		15					3		1	4	259	983	
16:45 - 17:00	22	62			119	48	19		14					4			4	284	1026	
17:00 - 17:15	26	44			128	41	28		17					4			4	284	1082	
17:15 - 17:30	13	74			130	39	28		24							5	5	308	1135	
Peak Hour:	81	238			484	167	95		70					11		6	5			PHF: 0.92
PHF:	0.78	0.80			0.93	0.87	0.85		0.73											

6 Hour Average	86	264			252	87	97		74					10		5				
Approach Lanes	0.5	1			1	0.5	0.5		0.5											
Departure Lanes	1		1		1		1		1		1									

Not Warranted

2 Hour PM Range Used for Vehicles: 15:30 to 17:30
 2 Hour PM Range Used for Pedestrians: 15:15 to 17:15

Pedestrian Points: 7
 Vehicle Points: 56
 Total: 63



TRAFFIC ANALYSIS REPORT

For Project: Temple Blvd W - Eton Road W to Eton Road W
 Location/Name: Incoming Direction (Eastbound)
 Report Generated: 2/26/2016 10:45
 Speed Intervals: 1 km/h
 Time Intervals: 7 minutes

Traffic Report From 2/23/2016 12:07:39 AM through 2/25/2016 11:59:10 PM

85th Percentile Speed: 57 km/h
 85th Percentile Vehicles: 4,089 counts
 Max Speed: 79.0 km/h on 2/25/2016 3:10:51 PM
 Total Vehicles: 4,677 count
 AADT: 1,562

Volumes - weekly vehicle counts

	Time	5 Day	7 Day
Average Daily		1,603	1,603
AM peak	8:00 to 9:00	148	148
PM peak	5:00 to 6:00	109	109

Speed

Speed limit: 50 km/h
 85th Percentile Speed: 57 km/h
 Average Speed: 50.3 km/h

	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday
Count over limit	N/A	809	819	829	N/A	N/A	N/A
% over limit	N/A	53.0	53.2	51.5	N/A	N/A	N/A
Avg speeder	N/A	54.7	54.8	54.6	N/A	N/A	N/A

Class counts

	Number	%
VEH_SM	6	0.1
VEH_MED	4,648	99.4
VEH_LG	23	0.5

[VEH_SM = motorcycle, VEH_MED = sedan, VEH_LG = truck]

Letter of Appeal
Regarding develop permit request for 250 McMaster Blvd West
Land use Bylaw 5700

Secretary of the Subdivision and Development Appeal Board
City Clerk's office
2nd Floor. 910 – 4 Ave South
Lethbridge, AB
T1J 0P6

With regards to the current proposed daycare facility being established at 250 McMaster Blvd West, we are absolutely opposed.

Having this daycare at this location is dangerous.
9 staff members and 50 children in this house is absurd.

We have lived on McMaster for 7 years and the traffic flow has significantly increased over this time period, now more than ever with the extension of Metis Trail. This daycare is proposed on the busiest and most congested intersections on McMaster Blvd.

The intersection of McMaster and Temple is a very busy one, I cross them a couple times each week with my two young children going to Nicholas Sheran Park. Having 9 staff cars parked on either side of the road will make it more difficult to see on-coming traffic when crossing Temple, making it dangerous.

My children go to a day home with 6 children, and at times there are 3 parents picking up/dropping off their kids, parking in the drive and on the street in front of neighbouring houses. I don't understand where the parents of the 50 children are going to park and unload their kids. The very small driveway will be filled with staff, plus they will also have to park on McMaster/ Temple at this already very busy intersection. Parking across the street along the park is dangerous, the parents and small children will have to cross McMaster and use 2 crosswalks to get to the daycare, this will not happen. They will be j-walking across increasing the likelihood of an accident.

Drivers already use McMaster as if it has 2 lanes at that intersection. Cars swerve around westbound traffic onto Temple from Northbound McMaster, and have created a right-hand turning lane on Southbound McMaster (directly in front of the proposed location). The increased new and possibly not local traffic, will cause more congestion, slower traffic flow, and endangers the safety of the families that live nearby and also the families that will be using the daycare.

Darryl and Robbie Moore
234 McMaster Blvd W.
robbie.moore81@gmail.com 403-894-4389

DATE: June 18, 2019

Dear Subdivision and Development Appeal Board (City of Lethbridge):

**RE: 250 McMaster Boulevard – Daycare for 50 Children/9 Staff
Request for Appeal of Decision – Development Permit #11073**

I am aware of the application to allow the above noted residential property to be used as a daycare for up to fifty (50) children and nine (9) staff members. I also understand that although this house has **insufficient parking space** to accommodate up to 100 vehicle visits each day (50 x 2 visits each), a waiver of five (5) parking stalls has been granted.

This property is situated on a corner lot of a very busy intersection. It experiences heavy traffic volumes at the same times of the day when parents would also be trying to drop off and pick up their young child.

Vehicles approaching from the north are accelerating because they have just left the school zone of The Children of St. Martha's Elementary School. Parents will not be able to park directly in front of the house because there is a "no stopping" sign. Instead, they will have to park elsewhere in this residential neighbourhood.

Vehicles approaching from either the south or west will have moments of hesitation and uncertainty about where to turn and where to park, creating a hazard to all traffic on Temple Boulevard and McMaster Boulevard.

Asking parents to park along the curb of Nicholas Sheran Park creates a dangerous jay-walking situation for parents and their children and should not even be considered an option.

I/we respectfully request that approval for this application be withdrawn.

Signed: Cindy Dykstra

Signed: Cindy Dykstra

Address: 130 Keystone Terrace West

(Although not a resident of Jarsity Village, my family uses this intersection multiple times per week).



Lethbridge June 20, 2019

To: Municipal Planning Commission (City of Lethbridge)

Re:

Petition regarding a daycare for a maximum of 50 children and 9 staff members at a former private home at 250 McMaster Blvd W Lethbridge.

My name is Helene Sauriol.

I live on the corner of McMaster Blvd and Cambridge Road. It is one block down from Temple Blvd.

I learned from a neighbour that the City of Lethbridge had granted permission to open a business, in this case, a Day Care center of 50 children and 9 staff. I was surprised that a business could operate in a low level residential area.

I wanted to find out what people in my area thought about this. They were not aware of it and had many concerns about traffic, safety and rezoning. Most indicated that they would be willing to sign a petition.

So on behalf of the 155 people who signed, I would indicate that nobody is against day care but were against a daycare at that particular location. We ask the city to please withdraw this development proposal and find a suitable location.

Thank you,

A handwritten signature in cursive script that reads "Helene Sauriol".

DATE: June , 2019

Dear Subdivision and Development Appeal Board (City of Lethbridge):

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Request for Appeal of Decision – Development Permit #11073**

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Asking parents to park along the curb of Nicholas Sheran Park creates a dangerous jay-walking situation for parents and their children and should not even be considered an option.

I/we respectfully request that approval for this application be withdrawn.

Signed: 

Signed: Priscilla Peltier & Richard Peltier

Address: 47 Temple Cresc.